

TOLEDO CITY PLAN COMMISSION REPORT

January 16, 2025



Bay View Park, Toledo, Ohio [approximately 1945].
An aerial photograph showing the Naval Armory and lake freighters in winter quarters.
The Toledo Yacht Club is on the right side of the photo.

Photograph Retrieved from the Toledo-Lucas County Public Library Digital Collections.

Toledo-Lucas County Plan Commissions

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Phone 419-245-1200, FAX 419-936-3730

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**TOLEDO-LUCAS COUNTY PLAN COMMISSIONS
APPLICATION DEADLINE, AGENDA, STAFF REPORT AND HEARING
SCHEDULE - 2025**

APPLICATION DEADLINE*	AGENDA SET	STAFF REPORT DISTRIBUTED	HEARING DATE
CITY PLAN COMMISSION <i>(HEARINGS BEGIN AT 2PM)</i>			
December 2	December 30	January 3	January 16
December 30	January 27	January 31	February 13
January 27	February 24	February 28	March 13
February 24	March 24	March 28	April 10
March 24	April 21	April 25	May 8
April 28	May 27*	May 30	June 12
May 19	June 18	June 20	July 3**
June 30	July 28	August 1	August 14
July 28	August 25	August 29	September 11
August 25	September 22	September 26	October 9
September 22	October 20	October 24	November 6**
October 20	November 17	November 21	December 4**
COUNTY PLANNING COMMISSION <i>(HEARINGS BEGIN AT 9AM)</i>			
December 9	January 8	January 10	January 22
January 13	February 10	February 14	February 26
February 10	March 10	March 14	March 26
March 10	April 7	April 11	April 23
April 14	May 12	May 16	May 28
May 12	June 9	June 13	June 25
June 9	July 7	July 11	July 23
July 14	August 11	August 15	August 27
August 11	September 8	September 12	September 24
September 8	October 6	October 10	October 22
October 6	November 3	November 7	November 19**
November 3	December 1	December 5	December 17**

* County deadlines are for Preliminary Drawings

** Date shifts are due to holidays

**Conversion Table
Toledo Zoning Code Update - Zoning District Designations**

Existing District	New District Effective June 6, 2004
R-A, Single Family	RS12, Single Dwelling
R-B, Single Family	
R-1, Single Family	RS9, Single Dwelling
R-2, Single Family	RS6, Single Dwelling
R-3, Two Family	RD6, Duplex
R-2A, Restricted Multi Family	RM12, Multi Dwelling
None	RM24, Multi Dwelling
R-4, Multi Family	RM36, Multi Dwelling
R-4A, Multi Family	
R-5, Multi Family	
R-MH, Manufactured Home	RMH, Manufactured Housing Park
Commercial Districts	
C-1, Neighborhood	CN, Neighborhood
N-MX, Neighborhood Mixed Use	
C-2, Restricted Office	CO, Office
C-7, Office Park	
C-6-HS Redevelopment - Heritage South*	CS, Storefront
C-6-LA, Redevelopment - Lagrange*	
C-MX, Community Mixed Use	CM, Mixed Use
C-3, Commercial	CR, Regional
C-4, Shopping Center	CR-SO, Regional - Shopping Ctr. Sign Overlay
C-5, Central Business District	CD, Downtown
Industrial District	
M-1, Restricted Industrial	IL, Limited Industrial
M-2, Industrial	IG, General Industrial
M-4, Warehouse	
M-3, Planned Industrial	IP, Planned Industrial/Business Park
Special Purpose District	
P, Parks	POS, Park & Open Space
None	IC, Institutional Campus
Overlay Districts	
CUP, Community Unit Plan	None
D.O.D, Downtown	-DO, Downtown
HD, Historic District	-HO, Historic District
MR-O, Maumee River	-MRO, Maumee River
None	-UNO, Urban Neighborhood
None	-PO, Pedestrian
None	-SO, Shopping Center Sign

*The Heritage South and Lagrange C-6 Standards remain unless repealed

TOLEDO-LUCAS COUNTY PLAN COMMISSIONS

January 16, 2024

2:00 P.M.

PUBLIC HEARING WILL BE HELD AT ONE GOVERNMENT CENTER
AT JACKSON BOULEVARD AND ERIE STREET
IN COUNCIL CHAMBERS
ON THE FOLLOWING CASES

AGENDA

ROLL CALL – Toledo City Plan Commission

PROOF OF NOTICE

MINUTES

FINAL PLATS

NO.

1. M-20-24: Review of 2025 CIP (rs)
2. SPR24-00098: Major Site Plan Review for Multi-Family Housing at 1401 Monroe Street (lk)
3. Z24-0006: Zone Change from CR to RD6 at 434 South Avenue and 439 Maumee Street (zm)
- ◆ 4. Z24-0002: Zone Change from RS6 to RD6 at 0 Greystone Parkway (mm)
- ◆ 5. S25-0016: Preliminary Drawing Review of Fieldview Addition, a Replat of Gardenview Acres, Located at Greystone Parkway between Angola Road and Airport Highway (mm)
6. SUP24-0005: Special Use Permit for Used Car Lot at 5655 Secor Road (av)
7. SUP24-00002: Special Use Permit for Internet Café at 1122 N. Byrne Road (as)
8. Z24-0001: Zone Change from CO to CR at 0 Executive Parkway (as)
9. M-9-24: Study of Car Washes and Potential Locational Criteria (as)
10. M-12-23: Study of Schools and Possible Text Amendments per Resolution 595-23 (mm)
11. M-10-24: Study of Storage Units and Potential Locational Criteria (lk)

CHAIRMAN'S REPORT

DIRECTOR'S REPORT

ADJOURNMENT

GENERAL INFORMATION

Subject

- Request - Review of the 2025-2029 Capital Improvement Program for Impact on the Master Plan
- Applicant - Wade Kapszukiewicz, Mayor

Applicable Plans and Regulations

- Forward Toledo Comprehensive Plan adopted by Ordinance 430-24
- Toledo Municipal Code (TMC) Chapter 165, Capital Improvement Program

CIP Process

- TMC Chapter 165 provides for referral of the CIP from City Council to the City Plan Commission for review of the impact on the Master Plan.

STAFF ANALYSIS

The 2025-2029 Capital Improvement Program (CIP) for Impact on the Master Plan has been forwarded to the Toledo City Plan Commission for review and recommendation pursuant to Toledo Municipal Code Chapter 165 - Capital Improvement Program. Although the 2025-2029 CIP includes capital expenditures from a variety of funding sources, the primary focus of this CIP review and analysis will be the “Traditional” (income tax-funded) portion of the Capital Improvement Program.

Toledo’s Income Tax consists of two (2) primary components, a permanent 1½% tax and a ¾% tax subject to renewal by the voters every four (4) years. Additionally, voters approved a continuation of the additional ¼% income tax for five (5) years specifically to fund roadway improvements starting in 2025. This fund has traditionally led to the resurfacing of an additional fifty (50) lane miles of roadway each year. Of the permanent 1½% tax, one sixth (1/6) is allocated to capital projects (equaling ¼%). Of the temporary ¾% tax, one third (1/3) is allocated to capital projects (also equaling ¼%). However, as in previous years, a portion of the percentages allocated to the CIP has been redirected to the operating budget for the past several years.

STAFF ANALYSIS (cont'd)

The proposed CIP Plan is attached as Exhibits “A”, “B” and “C”. Exhibit “A” contains the sources and uses of funds for the income tax funded portion of the CIP, with a breakdown of project support and specific projects included in Exhibit “B” and Exhibit “C”. As shown in Exhibit “A”, the total of the CIP sources over the next five (5) years is \$351.1 million, before deducting debt service obligations of \$98.1 million (existing) and \$15.3 million (new) also shown in Exhibit “A”. The CIP sources total \$76.5 million for 2025, an increase of \$11.3 million from 2024, before deducting \$20.6 million for debt service and \$24 million transferred to the General Fund.

Although the CIP is a five-year plan, traditionally the focus of City Council and the Administration has been on those projects that are proposed for funding in the first year. The CIP in years two (2) through five (5) is a guide to future capital spending that may be revised due to changing priorities and special project needs requiring re-direction of funds in future years. This analysis will focus primarily on the 2025 expenditures and how they relate to the goals of the Forward Toledo Plan, adopted by Toledo City Council on September 11, 2024, as the new master plan for the City of Toledo.

Forward Toledo Comprehensive Land Use Plan

The Forward Toledo Plan includes a total of thirty-three (33) goals with more than one hundred (100) strategies to aid in the implementation. The goals of the plan are categorized by the following themes: Build, Move, Place, Play and Sustain.

The Build theme focuses on the strategies for the design and use of structures with a focus on housing. The Move theme identifies strategies on increasing connectivity, supporting public transit, and encouraging walkability. The Place theme involves strategies for placemaking, expanding opportunity, and building inclusive communities. The Play theme focuses on strategies for enhancing residents’ quality of life through recreation, nature, and public spaces. And finally, the Sustain theme entails strategies for maintaining our natural environment, accessing healthy food, and promoting efficient energy use and development. The 2025-2029 CIP projects are analyzed against the goals of the Forward Toledo Plan, with special emphasis on those projects slated for 2025.

Overall Policies

The Forward Toledo Plan establishes the overall context, extent and location of various land uses and serves as a guide to communicate the policies of the Plan to citizens, the business community, developers and others involved in the development of the City of Toledo. Although the plan was adopted after midway through the year, there are multiple projects that support the goals and strategies of the plan.

The 2025-2029 CIP allocates \$107,192 to support Plan Commission staff in 2025. This funding is allocated under the project support budget for 2025 (Exhibit “B”). This funding allocation furthers the Forward Toledo Plan by providing the Plan Commission with additional staffing to support ongoing development services and the long-range planning needed to achieve implementation of the plan.

STAFF ANALYSIS (cont'd)

Strengthen Neighborhoods (*Build*)

The 2025-2029 CIP does not specifically address neighborhood and commercial land use needs, although a portion of the CIP will go towards bridges, street paving, and sidewalk repairs which has an impact on the quality of neighborhoods for residents and businesses.

Create Unique Places (*Build*) & **Support Creative Economy** (*Play*)

The 2025-2029 CIP provides \$532,417 in 2025 to support the 1% For the Arts Program as shown in Exhibit “A”. The Toledo Municipal Code requires that one percent (1%) of capital project funding be allocated for public art programs. An important element of community design is public art and establishing a sense of place.

The allocation of these funds supports the Create Unique Place goal which looks at the importance of how well-designed spaces can positively impact or affect the people that live there (e.g., placemaking). Additionally, this allocation furthers the Support Creative Economy goal by exploring how the Arts and the Creative Economy impact residents’ quality of life, Toledo’s marketability, and the local economy.

Promote Housing Variety & Building Preservation (*Build*)

There are no specific allocations in the 2025-2029 CIP to support housing programs. Prior to 2007, CIP funding was specifically allocated for demolition programs as well as infrastructure to support housing development projects. Currently, the funding for these activities is provided by the general fund, Lucas County Land Bank, and community development block grant dollars.

Park Access & Support Childhood Development (*Play*)

The 2025-2029 CIP allocates \$100,000 for Crossgate Park playground improvements per a Toledo Public Schools (TPS) partnership as shown in Exhibit “C”. Funding for recreational purposes declined in the CIP in recent years due to alternative funding that was available as part of the American Rescue Plan Act.

This funding project supports the goals of Park Access and Support Childhood Development within the Play theme of the Forward Toledo Plan. Park Access explores the impacts that nature and public spaces have on residents’ quality of life. The Support Childhood Development goal examines how recreation, quality education, and cultural opportunities positively affect childhood development. Both of these goals have specific strategies to 1.) ensure that all neighborhoods have equitable access to quality parks and open space; and 2.) strengthen the access between schools and public parks.

STAFF ANALYSIS (cont'd)

Increase Connectivity, Expand Right-of-Way Use (*Move*) & Funding Big Ideas (*Place*)

A total of \$16.9 million is included in 2025 for major street projects, which will leverage state and federal funding, \$1.9 million for bridge projects, and \$800,000 for continued improvements to the MLK Bridge as shown in Exhibit “C”. These improvements will support multiple goals of the Forward Toledo Plan.

The MLK Bridge improvements include a multi-use path connecting the downtown to two (2) major Metroparks along a riverfront trail on the Maumee River. This allocation supports multiple goals of the Forward Toledo Plan. The Increase Connectivity goal looks to provide a diverse transportation network that better connects people throughout the community. Additionally, the Expand Right-of-Way Use goal aims to understand how right-of-way design impacts travel choices and caters to all modes of transportation.

Furthermore, the Funding Big Ideas goal specifically identified the following strategies for implementation: 1.) allocate a fixed portion of CIP funds each year to projects that support the goals of the plan; and 2.) promote larger ideas and projects, such as a multi-purpose trail, that connects local businesses, neighborhoods, public art, and people to direct shoreline access along Lake Erie & the Maumee River. These expenditures further support the implementation of the plan and the ability to provide access to public amenities that improve the overall quality of life of Toledo residents.

Other Major 2025 CIP Expenditures

Other major 2025 CIP expenditures not previously mentioned include: \$2.5 million for new vehicles and vehicle replacements, \$3.3 million for new equipment as shown in Exhibit “C”. The list of overall expenditures is up in 2025 due to a higher CIP.

One of the new equipment being purchased is a waste handler (\$1.2 million) for landfill operations at the Hoffman Road Landfill. This project supports the Reduce Pollution (*Sustain Theme*) goal which aims to promote land use and transportation options that are environmentally friendly. The purchase of a new waste handler will promote responsible and environmentally friendly land use operations at the city landfill.

Summary

The 2025-2029 CIP aids in the implementation of multiple goals of the Forward Toledo Plan. While the plan was only adopted in September 2024, staff was encouraged by the amount of positive feedback and support provided from departmental requests on the various goals and strategies of the plan. The Forward Toledo Plan provides a framework to coordinate project planning between different City departments and strategically optimize funding opportunities. Although the transfer of CIP dollars to the General Fund is a limitation, in recent years this has been a precautionary measure with funding returned midway through the fiscal year. The downside is that a large percentage of the CIP budget is never reviewed for compliance with the adopted comprehensive land use plan.

STAFF ANALYSIS (cont'd)

Summary (cont'd)

This plan offers a chance to reset and reevaluate community priorities for the next 10-20 years and was influenced by substantial public input to provide a framework for the vision of our community. CIP funding can play an instrumental role in implementing the goals of the plan through strategic and coordinated project implementation that will have a lasting impact on the City of Toledo and its neighborhoods.

STAFF RECOMMENDATION

Staff recommends that the Toledo City Plan Commission recommends approval of the 2025-2029 Capital Improvement Program as being in conformance with the Forward Toledo Comprehensive Land Use Plan, to the Toledo City Council.

SPECIAL STUDY
TOLEDO CITY PLAN COMMISSION
REF: M-20-24
DATE: January 16, 2025
TIME: 2:00 p.m.

RS

Exhibit "A": Capital Improvement Program Sources and Uses 2025-2029
Exhibit "B": Capital Improvement Program Project Support 2025-2029
Exhibit "C": Capital Improvement Program Project Appropriations 2025-2029

EXHIBIT "A" SOURCES AND USES

M-20-24

Exhibit A - Capital Improvement Plan Sources and Uses 2025-2029

Projected Sources	2025 Projected	2026 Projected	2027 Projected	2028 Projected	2029 Projected	2025-2029 Total
Income Taxes Allocated for CIP	\$ 50,472,544	\$ 51,858,405	\$ 53,245,268	\$ 54,895,959	\$ 56,596,172	\$ 267,068,348
Other Revenues, Transfers and Closeouts	4,467,490	200,000	200,000	200,000	200,000	5,267,490
New Debt Issuance & Other Obligations	21,575,000	10,925,000	22,490,000	14,775,000	9,000,000	78,765,000
Total Sources	76,515,034	62,983,405	75,935,268	69,870,959	65,796,172	351,100,838
Projected Uses	2025 Projected	2026 Projected	2027 Projected	2028 Projected	2029 Projected	2025-2029 Total
Existing Debt Service (Net)	20,696,904	21,020,622	20,185,596	20,042,206	16,244,107	98,189,435
Projected New Debt Service	-	1,922,029	2,830,055	4,852,279	5,738,628	15,342,991
Project Support	6,676,492	6,743,257	6,810,689	6,878,796	6,947,584	34,056,819
Major Road & Bridge Projects - City Match	16,950,000	7,050,000	7,500,000	9,200,000	9,000,000	49,700,000
Buildings, Improvements & Equipment	8,925,000	3,875,000	14,990,000	5,950,000	375,000	34,115,000
1% for the Arts Contribution	532,417	416,895	545,734	466,352	454,722	2,416,120
Transfer to General Fund	24,000,000	24,000,000	24,000,000	24,000,000	24,000,000	120,000,000
Total Uses	77,780,813	65,027,802	76,862,074	71,389,634	62,760,042	353,820,366
Projected Fund Balance	2025 Projected	2026 Projected	2027 Projected	2028 Projected	2029 Projected	
Projected Starting Fund Balance*	6,061,616	4,795,837	2,751,439	1,824,633	305,959	
Change in Fund Balance	(1,265,779)	(2,044,397)	(926,806)	(1,518,675)	3,036,130	
Projected Ending Fund Balance	\$ 4,795,837	\$ 2,751,439	\$ 1,824,633	\$ 305,959	\$ 3,342,088	

*Projected starting fund balance, excluding non-spendable portion

Project Internal Debt Limit - 90% Calculation	2025 Projected	2026 Projected	2027 Projected	2028 Projected	2029 Projected
1/9th of Projected Income Tax	25,700,412	26,373,647	27,067,078	27,892,424	28,742,530
Projected Net Debt Service	20,696,904	22,942,650	23,015,651	24,894,485	21,982,736
Net Debt Service/Income Tax	80.5%	87.0%	85.0%	89.3%	76.5%

EXHIBIT "B" PROJECT SUPPORT

M-20-24

Exhibit B - Capital Improvement Plan - Proposed Project Support

<u>Funds Center</u>	2025 Projected	2026 Projected	2027 Projected	2028 Projected	2029 Projected
10200-Office Of The Mayor	\$ 20,289	\$ 20,492	\$ 20,697	\$ 20,904	\$ 21,113
10202-Communications	16,944	17,113	17,285	17,457	17,632
10400-Plan Commission	107,192	108,264	109,347	110,440	111,544
14700-Finance ERP	37,052	37,423	37,797	38,175	38,556
14800-Debt Management	82,306	83,129	83,960	84,800	85,648
22500-Transportation	667,515	674,190	680,932	687,741	694,619
23100-Streets, Bridges & Harbor	251,604	254,120	256,661	259,228	261,820
35000-Engineering Services	5,078,405	5,129,189	5,180,481	5,232,286	5,284,609
40100-Parks	415,185	419,337	423,530	427,766	432,043
Total Project Support	\$ 6,676,492	\$ 6,743,257	\$ 6,810,689	\$ 6,878,796	\$ 6,947,584

EXHIBIT “C” PROJECT APPROPRIATIONS

M-20-24

Exhibit C - Capital Improvement Plan Proposed Project Appropriations

Division	Project Title	Proposed Funding	Project Description
City Council	2025 DIP Allocation	300,000	District Improvement Program for City Council Districts
Engineering and Construction	Roads Matches & Planning	15,000,000	Annual amount for city match for road projects
Facilities Operations	Building Improvements/HVAC	275,000	Building improvements to various city buildings
Facilities Operations	Municipal Court Clerk Office Renovations	100,000	Building improvements to TMC Clerk Office
Fire	Fire Vehicles	600,000	Replace fire vehicles
Fire	Fire Equipment	250,000	Fire equipment
Fleet Operations	Vehicles (Non-Public Safety)	1,100,000	Replace non-public safety vehicles
IT	IT Infrastructure	200,000	Various enhancements to city IT infrastructure
IT	IT Security Improvements	200,000	Enhancements to infrastructure security
IT	City-wide Computer Replacements	250,000	Replacement program for computers
IT	MDT Replacement for Public Safety Vehicles	750,000	Mobile data terminals for Police and Fire vehicles
Parks, Recreation, and Community Enrichment	Crossgates Playground	100,000	Crossgate Park playground (TPS partnership)
Parks, Recreation, and Community Enrichment	1% for the Arts	532,417	TMC Required 1% for the Arts Contribution
Police	Police Vehicles	500,000	Replace police vehicles
Police	Police Equipment	1,925,000	Police equipment, including SBITA for body camera cloud storage
Road and Bridge Maintenance	Bridges Matches & Planning	1,950,000	Annual amount for city match for bridge projects
Road and Bridge Maintenance	MLK Bridge Improvements	800,000	Continued improvements to MLK bridge
Solid Waste	Landfill Equipment	1,200,000	Replacement of waste handler
Streets & Bridges	Snow Plow	375,000	Snow Plow
	Total	26,407,417	

GENERAL INFORMATION

Subject

- Request - Major Site Plan Review for Multi-Family Housing
- Location - 1401 Monroe Street
- Applicant/Owner - Lucas Metropolitan Housing Authority
424 Jackson Street
Toledo, OH 43604

Cherry Street Mission Ministries
1501 Monroe Street
Toledo, OH 43604
- Engineer - Lewandowski Engineers, A Verdantas Company
219 S. Erie Street
Toledo, OH 43604
- Architect - The Collaborative
One SeaGate, Park Level 118
Toledo, OH 43604

Site Description

- Zoning - CM / Mixed Commercial-Residential
- Overlay District - UpTown Urban Neighborhood Overlay District
- Area - ±1.772 acres
- Frontage - ± 210' along Monroe Street
± 492' along 14th Street
± 140' along Washington Street
- Existing Use - Parking lot
- Proposed Use - Multi-family housing development

Area Description

- North - Monroe Street, auto repair, and a medical and dental clinic / CR
- South - Washington Street and contractor sales and service / CR and IL
- East - 14th Street, future Lucas County Canine Facility and medical office / CR and IL
- West - Cherry Street Mission Ministries / CR

GENERAL INFORMATION (cont'd)Parcel History

- V-268-74 - Vacation of 15th Street that lies between Washington and Monroe Streets (PC rec. approval 9/19/1974; CC approved 12/10/74 by Ord. 1007-74).
- M-4-12 - Review and adoption of the Uptown District Neighborhood Plan (PC rec. approval 12/5/2013; CC approved 1/14/2014 by Ord. 19-14).
- M-5-19 - Review and adoption of the Uptown Master Plan Update as an amendment to the 20/20 Plan (PC rec. approval 6/13/2019; CC approved 7/23/2019 by Ord. 353-19).
- SPR-45-19 - Major Site Plan Review for building addition and parking lot expansion at 1301 Monroe Street (WITHDRAWN).
- DOD-6-19 - Downtown Overlay District review of building addition at 1301 Monroe Street (WITHDRAWN).
- UDARC-8-19 - Uptown District review of building addition at 1301 Monroe Street (WITHDRAWN).
- M-1-22 - Amendment of Uptown UNO Boundaries to include those properties abutting Monroe Street, east of Collingwood Boulevard (PC rec. approval 6/13/2024; CC approved 7/17/2024 by Ord. 366-24).
- Z-11005-23 - Zone Change from CR Office Commercial and IL Limited Industrial to CM Mixed Commercial Residential at 1401 Monroe Street, 21 N. 14th Street and 1402 Washington Street (PC rec. approval 3/4/2024; CC approved 4/24/2024 by Ord. 193-24).
- Z-11006-23 - Zone Change from CR Office Commercial to CM Mixed Commercial Residential at 1501 Monroe Street, 21 N. 14th Street and 1402 Washington Street (PC rec. approval 3/4/2024; CC approved 4/24/2024 by Ord. 194-24).
- UDARC-9-24 - UpTown District Architectural Review Committee review of new multi-dwelling building at 1401 Monroe Street (UDARC approved 11/19/2024).

GENERAL INFORMATION (cont'd)Applicable Plans and Regulations

- Toledo Municipal Code Part Eleven: Planning and Zoning
- Forward Toledo Comprehensive Land Use Plan
- UpTown District Urban Neighborhood Overlay District
- 2019 UpTown Master Plan

STAFF ANALYSIS

The Applicant is requesting a Major Site Plan Review for a new multi-family building located at 1401 Monroe Street to be named “Mission Point”. The ±1.772 acre site is located northwest of the 14th and Monroe Street intersection and is situated within the UpTown District Urban Neighborhood Overlay District. The site is currently used as a parking lot. Surrounding land uses include the Cherry Street Mission Ministries and Life Revitalization Center to the west; auto repair and a medical and dental clinic to the north across Monroe Street; the future Lucas County Canine facility, currently under construction, to the east across 14th Street; and a heating and cooling business to the south across Washington Street.

Mission Point will be co-developed and co-owned by Lucas Housing Services Corporation, the non-profit affiliate of Lucas Metropolitan Housing, and Cherry Street Mission Ministries. The proposed development includes a four (4) story building with sixty-five (65) one-bedroom apartments, an outdoor covered patio/gathering area in the back of the building, and the installation of a public art piece at the corner of Monroe and 14th Streets. The development will provide permanent supportive housing for the chronically homeless in the Toledo area. A Major Site Review is required per TMC§1111.0802(B) because a multi-family development containing 40 or more dwelling units is proposed. The Applicant has also submitted an UpTown District Architectural Review Committee (UDARC) application for review and approval (UDARC-9-24).

Intensity and Dimensional Standards

The subject site was rezoned in 2024 to CM Mixed Commercial-Residential to accommodate the proposed development. Based on the ±1.772 acre site, the CM zoning district permits a maximum of one hundred ten (110) units to be developed on the site. In addition, the CM zoning district requires that a minimum of fifty percent (50%) of the floor area of proposed buildings over 25,000 square feet be allocated to residential dwelling units per TMC§1106.0600. The proposal consists of 65 residential dwelling units and therefore is in compliance with the maximum permitted density requirements and minimum floor area for residential units for the CM zoning district. The proposed development also complies with all other intensity and dimensional standards.

STAFF ANALYSIS (cont'd)Parking and Circulation

Cherry Street Mission Ministries and Life Revitalization Center is situated immediately to the west of the site. There is currently a difference in grade and therefore a retaining wall with a fence that separates the properties owned by Cherry Street Mission Ministries and Lucas Metropolitan Housing. Since this is a joint project between the two entities, both entities will be ground leasing land to the project. The building is proposed to be situated along Monroe Street and 14th Streets. Currently there is an access drive from Monroe Street to both the Cherry Street Mission building and the parking lot owned by Lucas Metropolitan Housing. The development will eliminate these two access drives and provide for a pedestrian connection from Monroe Street to the proposed building as well as a pedestrian connection between the proposed multi-family building and the Cherry Street Mission building. There is an existing sidewalk from Monroe Street to Cherry Street Mission building. Vehicle access to the new development will be from Washington Street. Sidewalks currently exist on all street frontages.

The site plan depicts seventy-three (73) parking spaces for the proposed building. Per the Off-Street Parking Schedule A in TMC§1107.0304, multi-dwelling structures are required to provide one and one-half (1.5) parking spaces for each dwelling unit plus one (1) parking space per ten (10) units for visitor parking. Calculations using 1.5 parking spaces for each dwelling unit (98) and visitor parking (7) result in one hundred five (105) parking spaces required to meet the minimum number of off-street parking requirements. To meet this requirement an additional thirty-two (32) parking spaces would need to be provided. Since the development is intended to provide supportive housing to the chronically homeless population, it is plausible that not all tenants will have their own vehicle and may instead use public transportation. In addition, the services provided by Cherry Street Mission Ministries are an integral component of the proposed development and as such parking is proposed to be shared between the facilities. The Plan Director is authorized to approve parking reductions if the applicant demonstrates the proposed plan will not adversely affect surrounding neighborhoods, traffic congestion and circulation, and will have a positive effect on the economic viability of the project per TMC§1107.1400. This is documented through the submission of an Alternative Access and Parking Plan. An alternative parking plan will need to be submitted to the Plan Director for review and approval prior to any building permits being issued as a condition of approval. This plan must detail the type of alternative proposed and the rationale for such a proposal, including supporting research on or documentation of parking demand for the proposed use(s) as well as a shared parking agreement.

Based on the seventy-three (73) off-street parking spaces provided, three (3) of the required parking spaces shall be designated as accessible parking for physically disabled persons and adhere to the requirements of TMC§1107.1700. One (1) space shall be van accessible and two (2) car accessible spaces. The site plan depicts two (2) van accessible spaces in the parking area immediately adjacent to the building. One (1) additional parking space is required and shall be provided in this parking lot as a condition of approval.

STAFF ANALYSIS (cont'd)

In addition to the minimum number of off-street parking and accessible parking spaces, bicycle parking is also required in the Off-Street Parking Schedule A in TMC§1107.0300. A minimum of one (1) bicycle slot shall be provided for every ten (10) automobile parking spaces. The proposed seventy-three (73) parking spaces on-site require eight (8) bicycle parking slots to be provided. There are no bicycle parking slots depicted on the site plan. Therefore, the site plan shall be revised to include the required bicycle parking slots as a condition of approval.

Landscaping and Screening

Since the subject site is within the CM Mixed Commercial-Residential Zoning District as well as the Uptown District Urban Neighborhood Overlay, the development is required to adhere to the Urban Commercial Landscape Standards. These standards as outlined in TMC§1108.0300 require any part of a lot area not used for buildings, other structures, or for roads, walks, parking, service areas or access ways be landscaped with a combination of groundcover, trees and shrubs. Grasses may be used in conjunction with other plant material. Landscape improvements must be provided in the sidewalk or other paved area in front of a building with tree grates, or other walkable surface material treatment for open tree pits, in the form of one (1) shrub or understory tree for every thirty-feet (30') of lot frontage. The landscaping plan depicts interior site landscaping that includes foundation plantings along Monroe Street and 14th Street, landscaping at the main rear entrance and around the outdoor patio/gathering area, trees along the rear of the building, and parking lot island landscaping. In addition, one (1) tree is provided for every thirty-feet (30') along the Monroe Street frontage.

Existing trees and shrubs are located along the 14th Street and Washington Street frontages. TMC§1108.0305 requires perimeter landscaping to be installed along any parking lot areas adjacent to a street, place, or driveway. While there are existing shrubs, they do not extend the full length of 14th and Washington Streets. Grant funding for the development is being utilized for the building site portion of the development with no proposed improvements to the existing parking area. This area may be improved in a future phase. At such time, the existing landscape shall be brought into compliance with the applicable landscape requirements as a condition of approval. Additionally, should mechanical equipment for the development be installed on the ground on the exterior of the building, its location and required screening shall be shown on a revised site and landscaping plan and approved by the Plan Director as a condition of approval.

Building Design

At least one (1) main entrance within a multi-dwelling building must face the street, place, or main access drive within the development. Additionally, entrances must include architectural elements that emphasize the entrance (TMC§1109.0102). An entrance has been provided on Monroe Street and 14th Street; however, they will remain locked and the occupants will utilize the entrance at the back of the building as the main entrance. This is due to the nature of the intended use of the building and that there will be twenty-four (24) hour staff on-site monitoring entrance to the building.

STAFF ANALYSIS (cont'd)

Connecting walkways must be provided for internal pedestrian circulation within the site to connect to the street or place sidewalks and to connect parking spaces with the main building entrance per TMC§1109.0103. An interconnected sidewalk system is provided. A sidewalk from Monroe Street and 14th Street to the main building entrance in the rear of the building is depicted on the site plan. In addition, there is a sidewalk provided from the existing parking area, a sidewalk to the outdoor patio/gathering area, and a sidewalk from the proposed development to the Cherry Street Mission building. Per TMC§1109.0103(A), connecting walkways may cross parking aisles or driveways if distinguished from driving surfaces through the use of durable, low maintenance surface materials such as pavers, bricks, scored concrete or scored and painted asphalt to enhance pedestrian safety and comfort. To meet this requirement, staff recommends that a distinguishable surface be installed on the drive surface from the sidewalk along the south side of the new parking area to the sidewalk that connects to Monroe Street as a condition of approval.

Building Materials

Based on the overall layout of the site, all four (4) sides of the buildings shall be subject to the façade material standards as listed in TMC§1109.0500. For façades visible from the public right-of-way, predominant exterior materials must comprise at least eighty percent (80%) of the total wall area of the façade. Predominant exterior building materials include brick, stone, glass, architectural metals, and materials with a brick-like appearance or similar material. Accent exterior building materials include stucco, wood, concrete blocks, fiber cement board, vinyl or composite siding, glass block or exterior insulation and finish systems (EIFS); and may not comprise more than 20% of facades visible from the public right-of-way. The façade colors shall be low-reflectance, subtle, neutral or earth tone colors. Building trim and accent areas may feature brighter colors, including primary colors subject to the approval of the Planning Director.

A material percentage breakdown of the façade materials for each side of the buildings are included with the submittal. The materials primarily proposed on the elevations consist of brick veneer, fiber cement panels with a batten trim system, and glazing for the doors and windows. The color palette for the building is proposed to be a mix of neutral colors including brown, tan, grey and white. As submitted, the north (Monroe Street, 82.2%) and east (14th Street, 82.4%) elevations comply with this standard as the brick veneer and window and door glazing make-up over eighty percent (80%) of each of the elevations and are considered predominant building materials. The south (Parking Lot/Washington Street, 51.7%) and west (Cherry Street Mission, 50.4%) elevations do not comply with the material standards of TMC§1109.0501 as less than eighty percent (80%) of the elevations consist of brick veneer and window and door glazing, and over twenty percent (20%) of fiber cement panels, which is considered an accent material. A waiver to allow an accent material to consist of more than 20 percent of the south and west elevations of the proposed building shall be secured or the elevations revised depicting no more than 20 percent fiber cement siding, or any other accent material as a condition of approval.

STAFF ANALYSIS (cont'd)Urban Neighborhood Overlay

The subject site is located within the UpTown District Urban Neighborhood Overlay (UNO), which was established out of the 2013 UpTown District Plan. Updated in March 2019, the UpTown Master Plan identified the importance of residential housing opportunities within the UpTown District. Additionally, the UpTown District Plan identified the importance of social services and the stakeholders which reside within the UpTown District. The 2019 framework also depicts the subject site in an area designated “to develop stronger connections between full-block users with enhanced pedestrian paths and less fencing”. Finally, the plan indicates the need for in-fill buildings along Monroe Street and the need to decrease the amount of parking. The proposed multi-family development conforms with the vision and framework of the 2019 UpTown Master Plan and the Urban Neighborhood Overlay district as it will provide a needed building connection along Monroe Street that provides much needed housing for the homeless and creates a stronger connection within the block between the proposed housing and the Cherry Street Mission facility.

Per the procedures for the UpTown UNO Regulations as defined in TMC§1103.1600, an Architectural Review Committee has been established to review and make recommendations for new developments, proposed physical changes to existing structures, and public space within the UpTown District. The applicant submitted a separate UDARC application for this Major Site Plan Review. UDARC reviewed and approved the proposed development at their November 19, 2024 meeting with three conditions. Following are the three UDARC conditions of approval and included as conditions of approval in this Plan Case:

1. Roof-mounted mechanical equipment must be screened from public view. The screening must be of sufficient height to prevent persons located at the street level from viewing the screened items. Prior to installation of mechanical equipment, a sight line analysis from at least two-hundred feet (200') away shall be submitted to the Plan Commission for review and approval by the Plan Director;
2. Alternatives to the guard rail to be installed on the retaining wall to the west of the new proposed parking area shall be explored. Alternatives shall be submitted to the Plan Commission for review and approval by the Plan Director; and
3. The proposed dumpster area shall be relocated so that it is not located along 14th Street and depicted on a revised site plan to be submitted to the Plan Commission for review and approval by the Plan Director.

STAFF ANALYSIS (cont'd)

Forward Toledo Comprehensive Land Use Plan

The Forward Toledo Comprehensive Land Use Plan targets this site for Neighborhood Mixed-Use. The Neighborhood Mixed-Use designation is intended to preserve and promote pedestrian-oriented commercial and mixed-use areas and include a mix of multi-family uses and small-and medium-scale commercial operations. Development should have minimal setbacks and cohesive architectural elements, pedestrian connectivity should be prioritized, and parking areas should be consolidated serving multiple users. The proposed multi-family development is consistent with the intent and characteristics of the Neighborhood Mixed-Use designation.

Staff recommends approval of the proposed multi-family development as it is consistent with the Forward Toledo Plan and the 2019 UpTown Master Plan. In addition, it is a permitted use in the CM zoning district for which the subject property is zoned, and the plan provides for the safe, efficient and convenient movement of pedestrians on the subject site.

STAFF RECOMMENDATION

Staff recommends that the Toledo City Plan Commission approve SPR24-00098, Major Site Plan Review for multi-family housing at 1401 Monroe Street for the following **three (3) reasons**:

1. The request is consistent with the Forward Toledo Comprehensive Land Use Plan and the 2019 UpTown Master Plan (TMC§1111.0809(A));
2. The proposed use is permitted in the district in which it is located (TMC§1111.0809(B)); and
3. The request provides for the safe, efficient and convenient movement of pedestrians on the subject site(TMC§1111.0809(D)).

The staff recommends that the Toledo City Plan Commission take the following actions on the proposed waiver:

1109.0500 - Building Façade Materials and Color

Approve the waiver to allow the accent material, fiber cement siding with batten trim system, to consist of more than 20 percent of the south (49.3%) and west (49.6%) elevations of the proposed building. While the west elevation is visible from the right-of-way, it faces and is adjacent to the Cherry Street Mission Ministries facility. This entity is a codeveloper of the proposed building. The south side of the building faces the existing parking lot and Washington Street. The property to the south of the subject site is zoned industrial and is predominately industrial in nature. Material standards are not applied to industrial zoned properties.

STAFF RECOMMENDATION (cont'd)

The staff further recommends that the Toledo City Plan Commission approve SPR24-00098, Major Site Plan Review for multi-family housing at 1401 Monroe Street, subject to the following **fifty-four (54) conditions**:

The following conditions are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

Division of Engineering Services

1. All **proposed** sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way shall be constructed in accordance with the City of Toledo Construction Standards, Specifications, Toledo Municipal Code, and Americans with Disabilities Act guidelines.
2. All commercial drive approaches, (along with the sidewalk through the drive) shall be constructed with 8" thick concrete per City of Toledo Construction Standards and Specifications. No curb shall be permitted in the right-of-way along either side of a drive approach. **No horizontal curb cutting will be permitted to create a curb drop/opening.** Existing drive approaches, including the curb drop, that will no longer be utilized shall be removed and restored with curb to match the adjacent curb.
3. Required permits for all approved work in the public right-of-way shall be obtained, before work begins, from Ted Rousos, 419-245-1347. The application can be obtained online at Toledo.oh.gov search: Right of Way opening permit.
4. The City of Toledo public water system does not appear to be impacted by this project. Refer to comments provided by the Division of Water Distribution regarding private water mains and/or service lines.
5. The stormwater planning is adequate for the Site Plan Review (SPR) phase, but the proposed sewer connection in 14th street may require change to connection at vacated 15th. Connection point may need to be at an existing structure. Proposing a new structure on the brick sewer may require structural lining first.
6. Preliminary engineering coordination is welcomed, but a full stormwater review for comments requires an engineering submittal of multiple items, listed as items 1.a. - 1.g. on the SWP3 submittal coversheet provided to the applicant. The cover sheet includes a web link to Toledo's 2014 Infrastructure Requirements document.
7. SWP3 activities and sequencing shall account for any demolition if demolition may be sequenced prior to construction permitting.

STAFF RECOMMENDATION (cont'd)

8. Following the stormwater review, additional items are needed to receive construction permission:
 - a. As listed on the SWP3 submittal cover sheet, items 2.a. - 2.c.
 - b. Sewer fee and subcontracting for construction by a Toledo Licensed Sewer Contractor.
 - c. Project team shall provide advance copy of sample stormwater permit to bidders and with the contract for construction. It states conditions for precon notifications, field inspection, and permit closure.
 - d. An electronic copy and one full size paper set of the civil drawings as issued for construction. Delivery to the same address as on the provided sewer fee form.
9. Sanitary sewer service for this development is available subject to the Rules and Regulations of the Department of Public Utilities.
10. A single sanitary sewer tap from this site shall be allowed into the public sanitary sewer system. Developer shall use existing sanitary tap, when available.
11. If there are any existing structures to be demolished at the site, the sanitary services to such structures will be killed by the City of Toledo at the developers cost.
12. Any previous kills that were not done at the right-of-way line shall be re-killed at the right-of-way to eliminate any active pipes on the property.

Water Distribution

13. Taps 2" and smaller do not require plan submittal and approval by Water Department; standard water fees apply.
14. Taps larger than 2" must submit detailed utility plan for review, approval and fee assessment by Water Engineer. Plans must show all utilities within the right-of-way, water feature sizes and distances; include callouts for any new taps by the City of Toledo or tees by the contractor (example tap callout: "8"x4" tapping sleeve and valve by the City of Toledo at owner's expense. Excavation, shoring, valve box, backfill and restoration by Contractor").
15. All supply lines to fire sprinkler systems must be at least 6" and must have a PIV (Post Indicator Valve) properly protected against mechanical damage.
16. Maintain 18" vertical and 10' horizontal clearance between proposed water main and sani/storm sewers; maintain 12" vertical and 4' horizontal clearance with all other utilities.

STAFF RECOMMENDATION (cont'd)

17. Existing water service lines to structures removed from the site will be abandoned by the City of Toledo at the developer's expense (water kill permit).
18. All Commercial, Irrigation and Domestic services (in which there is a lawn irrigation system downstream of the Domestic Meter), must have a containment-type backflow device (RPZ) installed at the meter. A backflow assembly diagram has to be submitted and approved by Backflow Coordinator.
19. Water service is subject to the Rules and Regulations of the Department of Public Utilities.
20. See current Construction Standards for allowed materials.
21. Current Water General Notes must be included on the plans.

Sewer and Drainage Services

22. S&DS requires that all existing private sewer lines that are not being removed or properly abandoned (both storm & sanitary) be cleaned and inspected.
23. S&DS requires that the existing private sanitary lines (after they have been cleaned) that are not being removed or properly abandoned be televised from the building (or private cleanout) to where they connect with the public sewer system if this has not been done in the past (2) two years. An electronic copy (DVD/memory stick) shall be provided to S&DS demonstrating the lines cleaning and integrity.

Division of Environmental Services

24. Applicant shall maintain compliance with the City of Toledo's Storm Water regulations as specified in the Toledo Municipal Code. Special attention must be paid to all potential storm water impacts from the modification of the site, including but not limited to long-term operation and maintenance of existing structural and non-structural Best Management Practices.
25. Applicant shall maintain compliance with Ohio EPA's General Storm Water NPDES permit programs.
26. Applicant is strongly encouraged to install permanent inlet filters with oil absorbent pillow in parking lot catch basins to treat stormwater.
27. Applicant is strongly encouraged to include multiple green infra-structure measures to minimize runoff and increase infiltration, and to minimize the amount of new and/or additional impervious surface on the site.

STAFF RECOMMENDATION (cont'd)

28. Applicant is strongly encouraged to plant native, low maintenance and non-invasive trees, shrubs and perennials. Information is at <https://ohiodnr.gov/wps/portal/gov/odnr/discover-and-learn/plants-trees/invasive-plants>; a list of invasive plants and alternative species can be downloaded from https://www.oipc.info/uploads/5/8/6/5/58652481/alternatives_to_ohio_invasive_plant_species.pdf
29. Applicant shall maintain compliance with the City of Toledo and the State of Ohio's Air Quality Regulations applicable in the Toledo Municipal Code and the Ohio Administrative Code including, but not limited to the Asbestos and the Anti-Noise Laws.

Fire Prevention Bureau

30. The proposed new building will require compliance with all applicable Fire Sprinkler and Alarm, Building, Electrical, Mechanical and Plumbing code requirements.
31. Key box(s) for access to building and areas restricted by fences, gates, ect...
32. Post Indicator Valve (PIV) and Fire Department Connection (FDC) locations to be approved by the site engineer and Fire Prevention Department.
33. Fire apparatus access roads shall have an unobstructed width of not less than 20' and an unobstructed vertical clearance of not less than 13'6".

Division of Transportation

34. Bicycle parking is required per TMC§1107.0900.
35. Accessible parking is required with an 8' loading aisle for vans and 5' loading aisle for autos per TMC§1107.1700. A minimum of three (3) auto and one (1) van accessible parking spots are required.
36. Accessible parking signage sizes are required to meet TMC§1007.1704.
37. The accessible parking spaces are required to be the closest parking space available to the accessible entrance with the shortest path of travel per TMC§1107.1703 and the Americans with Disabilities Act (ADA).
38. If one does not already exist, a cross access agreement is required with adjacent property owners.

STAFF RECOMMENDATION (cont'd)Plan Commission

39. Off-street parking shall be provided per TMC§1107.0304 Schedule A for the proposed multi-family building. A total of one hundred five (105) parking spaces are required. The site plan depicts seventy-three (73) parking spaces. **Not acceptable as depicted. An Alternative Access and Parking Plan, in accordance with TMC§1107.1400, shall be submitted to the Planning Director to allow for a reduction of the required minimum off-street parking spaces, including a shared parking agreement.**
40. Bicycle parking slots shall be provided per TMC§1107.0304 Schedule A for the proposed multi-family use. Eight (8) bicycle parking slots are required. The site plan does not depict any bicycle parking slots. **Not acceptable as depicted. Site plan shall be revised to include the required eight (8) bicycle parking slots.**
41. All spaces reserved for the use by persons with physical disabilities shall adhere to the standards outlined in TMC§1107.1700. A minimum of two (2) car accessible spaces and one (1) van accessible space is required for the site. The site plan depicts two (2) van accessible spaces. **Not acceptable as depicted. The site plan shall be revised to include one (1) additional accessible space in the parking area closest to the building.**
42. Sidewalks shall be provided along all public streets in commercial districts per TMC§1107.1303. **Acceptable as depicted.**
43. A detailed site, lighting, fencing and four (4) copies of a landscaping plan (separate from building & site plans) shall be submitted to the Plan Director for review and approval. Such plan shall include:
- a. Urban Commercial Landscape Standards of TMC§1108.0300, any part of a lot area not used for buildings, other structures, or for roads, walks, parking, service areas or access ways must be landscaped with a combination of groundcover, trees and shrubs. **Acceptable as depicted.**
 - b. Landscape improvements must also be provided in the sidewalk or other paved area in front of a building with tree grates, or other walkable surface material treatment for open tree pits, in the form of one (1) shrub or understory tree for every thirty-feet (30') of lot frontage. **Acceptable as depicted.**
 - c. Dumpster location(s) shall be clearly defined, have a concrete pad and be surrounded by a solid wooden fence or a masonry screen enclosure with landscaping and shall not be located in any required setbacks or the public right-of-way as stated in TMC§1361.10(b)(10) of the Building Code, if applicable.

STAFF RECOMMENDATION (cont'd)

- d. Mechanical equipment for the development installed on the ground on the exterior of the building, shall be shown on a revised site and landscaping plan with required landscape screening and approved by the Plan Director as a condition of approval, **if applicable**.
 - e. Pursuant to TMC§1108.0305, perimeter landscaping must be installed along any parking lot area adjacent to a street, place, or driveway. **Acceptable as depicted for this phase. When the existing parking area is improved in a future phase, the existing landscape shall be brought into compliance with the applicable landscape requirements.**
 - f. Topsoil must be back filled to provide positive drainage of the landscape area.
 - g. Landscaped areas may not contain bare soil, aggregated stone or decorative rock. Any ground area must be covered with hardwood mulch, grass or other vegetative ground coverage.
 - h. The location, number, height, diameter and species of any materials to be planted and maintained, as well as the location and number of any existing trees to be retained, trees, shrubs, and landscape materials shall meet the standards included in TMC§1108.0400 Landscape Materials Standards. **Acceptable as depicted.**
 - i. Landscaped areas must be irrigated as necessary to maintain required plant materials in good and healthy condition. Irrigation plans must be submitted with development plans and must contain all construction details.
 - j. The location, height and materials for any fencing to be installed and maintained.
 - k. The location and direction of any proposed lighting (lights are to be directed away from adjacent residential properties).
 - l. Landscaping shall be installed and maintained indefinitely.
44. At least one (1) main entrance within a multi-dwelling building must face the street, place, or main access drive within the development and entrances must include architectural elements that emphasize the entrance per TMC§1109.0102. **Acceptable as depicted.**
45. Connecting walkways must be provided for internal pedestrian circulation within the site to connect to the street or place sidewalks and to connect parking spaces with the main building entrance per TMC§1109.0103. An interconnected sidewalk system is provided. **Acceptable as depicted.**

STAFF RECOMMENDATION (cont'd)

46. Per TMC§1109.0103(A), connecting walkways may cross parking aisles or driveways if distinguished from driving surfaces through the use of durable, low maintenance surface materials such as pavers, bricks, scored concrete or scored and painted asphalt to enhance pedestrian safety and comfort. **Not acceptable as depicted. A distinguishable surface shall be installed on the drive surface from the sidewalk along the south side of the new parking area to the sidewalk that connects to Monroe Street.**
47. All four (4) sides of the building shall be subject to the façade material standards as listed in TMC§1109.0500. The color palette for the building is intended to be a mix of neutral colors. The materials primarily proposed on the elevations consist of brick veneer, fiber cement panels with batten trim system and glazing for the doors and windows. The north and east elevations meet this requirement; however the south and west do not as more than 20% of these elevations consist of an accent material. **Not acceptable as depicted. A waiver shall be secured, or the south and west elevations shall be revised to comply with this standard.**
48. Roof-mounted mechanical equipment must be screened from public view. The screening must be of sufficient height to prevent persons located at the street level from viewing the screened items. Prior to installation of mechanical equipment, a sight line analysis from at least two-hundred feet (200') away shall be submitted to the Plan Commission for review and approval by the Plan Director;
49. Alternatives to the guard rail to be installed on the retaining wall to the west of the new proposed parking area shall be explored. Alternatives shall be submitted to the Plan Commission for review and approval by the Plan Director; and
50. The proposed dumpster area shall be relocated so that it is not located along 14th Street and depicted on a revised site plan to be submitted to the Plan Commission for review and approval by the Plan Director.
51. All proposed signage for the site shall be meet the requirements of TMC§1113.000. A sign permit application and UpTown District Urban Overlay review application shall be submitted and approved for all signage.
52. Per TMC§1111.0814 if a building permit is not issued within one year of the Site Plan approval, the approved plan shall lapse and become null and void.
53. Minor adjustments to the Site Plan that do not violate the above conditions, or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.
54. No permits shall be issued until arrangements satisfactory to the Director of the City of Toledo Plan Commission have been made for compliance with the conditions as set forth above.

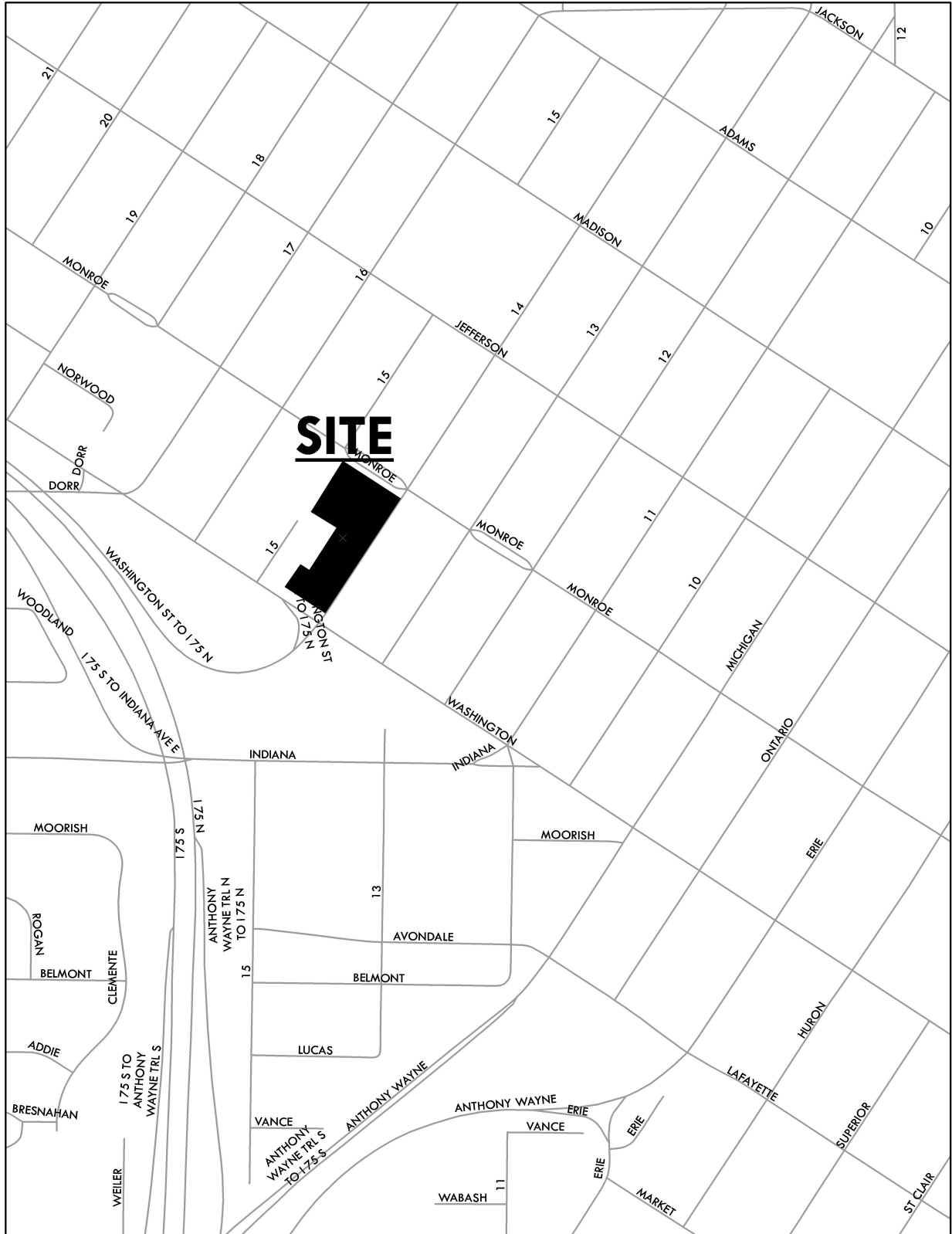
REF: SPR24-00098. . . January 16, 2025

MAJOR SITE PLAN REVIEW
TOLEDO CITY PLAN COMMISSION
REF: SPR24-00098
DATE: January 16, 2025
TIME: 2:00 P.M.

LK
Eight (8) sketches follow

GENERAL LOCATION

SPR24-00098



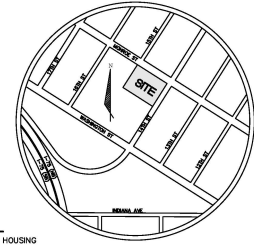
SITE PLAN

SPR24-00098



LE PROJECT : 53250
CONTRACT : Q-9564

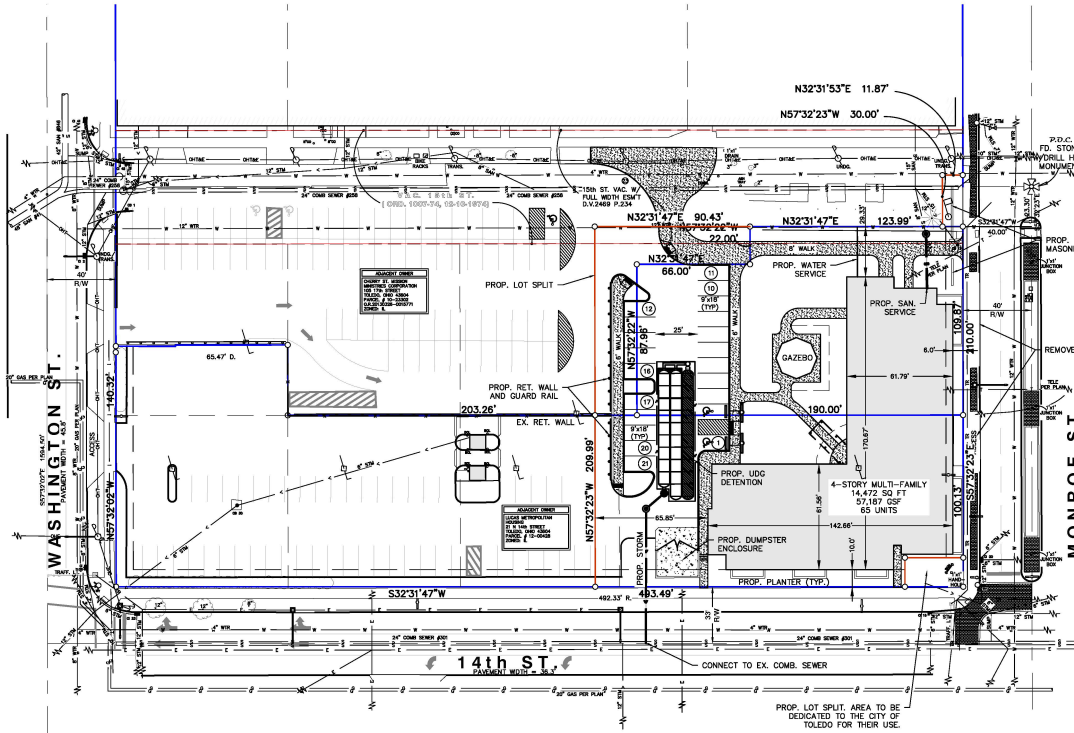
MAJOR SITE PLAN FOR:
MISSION POINT
LOTS 718-721, PART OF 157 & 759 IN PORT LAWRENCE DIVISION & LOTS 1-3 IN MOTT'S ADDITION TO TOLEDO
CITY OF TOLEDO, LUCAS COUNTY, OHIO



SITE MAP
NOT TO SCALE

LEGEND

ELECTRIC	---
FIBER OPTIC	---
FIRE MAIN	---
GAS	---
IRRIGATION LINE	---
SANITARY	---
STORM	---
TELEPHONE	---
WATER	---
FENCE	---
OVERHEAD ELECTRIC	---
OVERHEAD TELEPHONE	---
RAILROAD	---
SLOPE	---
CATCH BASIN	---
CURB INLET	---
MANHOLE	---
YARD BASIN	---
HYDRANT	---
VALVE	---
POWER POLE	---
GUY WIRE	---
YARD LIGHT	---
STREET LIGHT	---
TRAFFIC SIGNAL	---
BOLLARD	---
CARBONITE	---
FLOOD LIGHT	---
METER	---
IS SIGN	---
WORKING WELL	---
SKI	---
TRANSFORMER	---
DIKOTES PARKING SPACES	---
MONUMENT, FOUND	---
MONUMENT, SET	---
SURVEY MARKER (FOUND/SET)	---
CALCULATED	---
DEED	---
RECORD	---
MEASURED	---
DIKOTES SCHEDULE "M" ITEMS	---



DEVELOPER
LUCAS METROPOLITAN HOUSING
424 JACKSON ST
TOLEDO, OHIO 43604
KEITH SMITH
(419) 419-259-8400

OVERLAY DISTRICTS
UDMC - UPTOWN DISTRICT
ARCHITECTURAL REVIEW COMMITTEE

AREA
43,363.33 F²
OR
1,041.9 AC.

ADDRESSES
1401 MONROE STREET
1402 WASHINGTON STREET
TOLEDO, OHIO 43604
PARCEL NO. 12-00426, 12-19367 & 12-19407

FLOODPLAIN
ZONE X-OUTSIDE THE 100-YEAR
FLOOD PLAIN
MAP # 200500036E
EFFECTIVE 06/16/2011

PARKING
MONROE STREET URBAN DISTRICT PARKING/
LANDSCAPE BUFFER REQ'D FOR TMC
1103.00(REQ)

NOTE: LEWANDOWSKI ENGINEERS HAS NOT BEEN PROVIDED A COPY OF THE ZONING REPORT FOR THE SUBJECT PARCEL. ZONING INFORMATION SHOWN HEREON IS BASED UPON INFORMATION SUPPLIED BY THE LOCAL JURISDICTION AND SHALL BE SUBORDINATE TO THE ZONING REPORT.

PARKING COUNT
21 NEW STALLS (2 ADA)
1074 STALLS (19 ADA)

A SHARED PARKING AGREEMENT BETWEEN CHERRY STREET MISSION AND LUCAS METROPOLITAN HOUSING WILL BE PROVIDED FOR THE SITE.



LEWANDOWSKI ENGINEERS
A VERDANTAS COMPANY

CIVIL ENGINEERS & SURVEYORS
2119 S. ERIE STREET
TOLEDO, OHIO 43604
LEWANDOWSKIENG.COM
OFFICES: 419.252.5111

PRELIMINARY SITE PLAN:
MISSION POINT
LOTS 718-721, PT. 157 & 759 IN PLO & LOTS 1-3 IN MOTT'S ADDITION TO TOLEDO
CITY OF TOLEDO, LUCAS COUNTY, OHIO

DATE: 09/19/2024
DRAWN: CAG
CHECKED: TMB
BOUNDARY: RPL
TOPIC: MFL
UTILITIES: MLC
GPS: NAD '83, GEOID=18US, OHIO N. 3401

SCALE: 1"=30'
DWG #: 23250-DESIGN
DR #: 53250
DATE: MARCH 28 GPS
CIVIL JD 2023
GSC: ARCHENG 9.2

MISSION POINT

WARNING

UNDERGROUND UTILITIES IN AREAS CONTACT THE OHIO UTILITIES PROTECTION SERVICE (OUPS) TWO WEEKS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION.—1-800-362-2764

CONTRACTOR SHALL IDENTIFY AND CONDUCT ANY UTILITY COMPANIES THAT DO NOT PARTICIPATE IN THE OUPS SYSTEM.



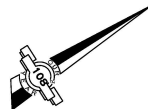
Know what's below.
Call before you dig.

TITLE

LEWANDOWSKI ENGINEERS HAS NOT BEEN PROVIDED A COPY OF THE ZONING REPORT FOR THE SUBJECT PARCEL. ZONING INFORMATION SHOWN HEREON IS BASED UPON INFORMATION SUPPLIED BY THE LOCAL JURISDICTION AND SHALL BE SUBORDINATE TO THE ZONING REPORT.

THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS IN THE PROCESS OF CONDUCTING THE FIELDWORK.

LEWANDOWSKI ENGINEERS IS NOT AWARE OF CHANGES IN STREET RIGHT-OF-WAY LINES, STREET OR SIDEWALK CONSTRUCTION OR REPAIRS EITHER COMPLETED OR PROPOSED.



GRAPHIC SCALE
(IN FEET)
1 inch = 30 ft.

ELEVATIONS - EAST & NORTH

SPR24-00098

EXTERIOR GENERAL NOTES:

1. SEALANT COLORS TO MATCH ADJACENT MATERIALS.
VENTILY COLORED WITH ANCHORAGE PRIOR TO APPLICATION.
VERTICAL BRICK EXPANSION JOINT COLOR TO MATCH BRICK, NOT METAL.
2. FINISH DAMS REQUIRED FOR EACH END OF FLASHINGS AT ALL DOORS, WINDOWS, STOREFRONTS, CURTAIN WALLS, AND SIMILAR OPENINGS.

EXTERIOR FINISH SCHEDULE:

NOTE: SEE SPECIFICATIONS FOR ADDITIONAL FINISH INFORMATION. ALL PRODUCTS AND MANUFACTURERS INDICATED BELOW ARE BASED ON DESIGN SPECIFICATIONS. LIST OTHER ACCEPTABLE MANUFACTURERS SHOULD PRODUCTS.

BRICK/BRICK MASONRY

- BRK-1 WATSONTOWN BRICK CO. - WINDSORWATT
- BRK-2 BLOU CITY BRICK - REVUEVE PEWTER

CEMENT BOARD

- CB-1 HARDE BOARD AND BATTEN SYSTEM, PAINT COLOR: (SEE FINISH WALLS BRUSH)
- CB-2 CRAY TRIMM BROWN
- CB-3 HARDE BOARD AND BATTEN SYSTEM, PAINT COLOR: (SEE FINISH WALLS SW 7096)

MISCELLANEOUS METALS

- MB-1 ALUMINUM COPING

THE COLLABORATIVE

EXTERIOR WALL MATERIAL TAKE-OFFS		
EAST ELEVATION - 14TH STREET		
MATERIAL	QTY	%
BRICK VENEER	3,337	59.3%
FIBER CEMENT BOARD	1,114	17.6%
OPENINGS (DOORS & WINDOWS)	1,463	23.1%
TOTAL FACADE WALL AREA	6,234	100%



C1 EAST ELEVATION - 14TH STREET
SCALE: 1/8" = 1'-0"

EXTERIOR WALL MATERIAL TAKE-OFFS		
NORTH ELEVATION - MONROE STREET		
MATERIAL	QTY	%
BRICK VENEER	4,536	53.3%
FIBER CEMENT BOARD	1,383	17.6%
OPENINGS (DOORS & WINDOWS)	2,281	26.8%
TOTAL FACADE WALL AREA	7,899	100%



A1 NORTH ELEVATION - MONROE STREET
SCALE: 1/8" = 1'-0"



KEY PLAN
SITE

PROJECT TITLE
LMH / Cherry Street Mission
Mission Point

1401 Monroe Street
Toledo, Ohio 43604

JM16098L 10/09/23 REVISION
JMS0908L SITE PLAN REVISION
TC JOB NO. 102236

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NO.
A3.00

ELEVATIONS - WEST & SOUTH

SPR24-00098

EXTERIOR GENERAL NOTES:

- SEALANT COLORS TO MATCH ADJACENT MATERIALS. VERIFY COLORS WITH ARCHITECT PRIOR TO INSTALLATION. VERTICAL BRICK EXPANSION JOINT COLOR TO MATCH BRICK, NOT MORTAR.
- END DAMS REQUIRED FOR EACH END OF FLASHINGS AT ALL DOORS, WINDOWS, STOREFRONTS, CURTAIN WALLS, AND SIMILAR OPENINGS.

EXTERIOR FINISH SCHEDULE:

NOTE: SEE SPECIFICATIONS FOR ADDITIONAL FINISH INFORMATION. ALL FINISHES TO BE MANUFACTURED AS INDICATED BELOW AND BASIS OF DESIGN. SPECIFICATIONS LIST OTHER ACCEPTABLE MANUFACTURER AND/OR PRODUCTS.

BRICK/BRICK MASONRY:

- BR-1 WATSON TOWN BRICK CO. - VENEER/MATT
- BR-2 LOCAL CITY BRICK - REVERSE PATTERN

CEMENT BOARD:

- CB-1 INSIDE BOARD AND BATTEN SYSTEM PAINT COLOR = HERRINGWILLIAMS SW785
- CB-2 CRACK TRAWN BROWN INSIDE BOARD AND BATTEN SYSTEM PAINT COLOR = HERRINGWILLIAMS SW790
- CB-3 LOCAL GRC

MISCELLANEOUS METALS:

- MM - ALUMINUM COFING

THE COLLABORATIVE

EXTERIOR WALL MATERIAL TAKE-OFFS

WEST ELEVATION - FACING LRC

END OF BUILDING	
MATERIAL	%
BRICK VENEER	1,291 43.9%
FIBER CEMENT BOARD	1,253 41.7%
OPENINGS (DOORS & WINDOWS)	185 6.3%
TOTAL FACADE WALL AREA	2,748 100%

EXTERIOR WALL MATERIAL TAKE-OFFS

WEST ELEVATION - FACING LRC

FACING PLAZA	
MATERIAL	%
BRICK VENEER	87 19.2%
FIBER CEMENT BOARD	3,713 80.7%
OPENINGS (DOORS & WINDOWS)	1,979 36.1%
TOTAL FACADE WALL AREA	3,889 100%



C1 WEST ELEVATION - FACING LRC (MACOMBER)
SCALE: 1/8" = 1'-0"

EXTERIOR WALL MATERIAL TAKE-OFFS

SOUTH ELEVATION - FACING PARKING

FACING PLAZA	
MATERIAL	%
BRICK VENEER	893 18.7%
FIBER CEMENT BOARD	4,065 81.2%
OPENINGS (DOORS & WINDOWS)	1,613 31.4%
TOTAL FACADE WALL AREA	4,811 100%

EXTERIOR WALL MATERIAL TAKE-OFFS

SOUTH ELEVATION - FACING PARKING

END OF BUILDING	
MATERIAL	%
BRICK VENEER	1,386 30.3%
FIBER CEMENT BOARD	1,214 26.7%
OPENINGS (DOORS & WINDOWS)	50 1.1%
TOTAL FACADE WALL AREA	2,214 100%



A1 SOUTH ELEVATION - FACING PARKING
SCALE: 1/8" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

KEY PLAN

PROJECT TITLE
LMH / Cherry Street Mission
Mission Point

1401 Monroe Street
Toledo, Ohio 43604

TC JOB NO. 147930

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NO.
A3.01

RENDERING - MONROE STREET

SPR24-00098



RENDERING - 14TH STREET

SPR24-00098



GENERAL INFORMATION

Subject

- Request - Zone Change from CR Regional Commercial to RD6 Duplex Residential
- Location - 434 South Avenue & 439 Maumee Avenue
- Applicant/Owner - Historic South Initiative
P.O. Box 1008
Toledo, OH 43697
- Agent - Joe Cordella
P.O. Box 1008
Toledo, OH 43697

Site Description

- Zoning - CR / Regional Commercial
- Area - ± 0.3773 acres
- Frontage - ± 150' along South Avenue
± 102' along Maumee Avenue
- Existing Use - Vacant lots
- Proposed Use - Two (2) detached homes

Area Description

- North - Single-dwelling homes and duplexes / RD6
- South - South Avenue, Single-dwelling homes and duplexes / CR & RD6
- East - Single-dwelling homes and duplexes / RD6
- West - Maumee Avenue, Single-dwelling homes and duplexes / CR & RD6

Parcel History

- Z-8-81 - Neighborhood Area Down-zoning from C-3 General Commercial to R-3 Two-family Residential (PC approved 02/19/81 with the deletion of the South and Maumee Avenue properties, CC approved on 03/10/81 by Ord.135-81).

GENERAL INFORMATION (cont'd)Applicable Plans and Regulations

- Toledo Municipal Code Part Eleven: Planning and Zoning
- Forward Toledo Comprehensive Land Use Plan

STAFF ANALYSIS

The applicant is requesting the zone change from CR Regional Commercial to RD6 Duplex Residential for an ±0.37-acre site located at 434 South Avenue & 439 Maumee Avenue. The subject site consists of two (2) vacant parcels located north of South Avenue and east of Maumee Avenue. The applicant is requesting the zone change in order to construct two (2) single dwelling detached homes. A zone change is required because the current CR Regional Commercial zoning district does not permit the construction of detached houses. As stated in TMC §1102.0300, the RD6 zoning district is primarily intended to accommodate the development of single dwelling units and duplexes on individual lots. The district is intended to create, maintain and promote a variety of housing opportunities for individual households.

Surrounding land uses include single-dwelling homes and duplexes to the north and east; a mix of single-dwelling homes and duplexes to the south across South Avenue and west across Maumee Avenue.

In 1981, a downzoning was initiated for this area. The dominant land uses were one (1) and two (2) dwelling homes, however, the dominant zoning classification was RM36 multi-dwelling residential. In tandem with the downzoning was a zone change for two (2) Office Commercial and six (6) General Commercial locations to RD6 Duplex Residential. The recommendation of the Plan Commission to City Council was approval of the zone changes to duplex residential, including commercial areas, for the entire neighborhood with the exception of the General Commercial zoning district at the intersection of South and Maumee Avenue. The removal of these properties from the downzoning was due to objections from the local business owners.

An adjacent property at 443 & 445 South Avenue, was originally zoned as CR Regional Commercial until 2013 where it was rezoned as RD6 Duplex Residential to match the surrounding area and the existing land uses. The former commercial buildings on the subject site were demolished in 2021 and the properties have since been left vacant.

Forward Toledo Comprehensive Land Use Plan

The Forward Toledo Comprehensive Land Use Plan designates the subject property as Neighborhood Residential. The Neighborhood Residential land use designation is intended to provide space for low- and medium-density housing demands while making the best use of neighborhoods with constraints such as narrow lots. Generally, the majority of buildings are single- and two-unit houses; however, three-, four-, and multi-dwelling homes are compatible when located near or along busier corridors where lot size and building height are most appropriate. The proposed zone change from CR Regional Commercial to RD6 Duplex Residential is consistent with the Neighborhood Residential land use designation of the Forward Toledo Plan as it permits both single- and two-unit dwellings.

STAFF ANALYSIS (cont'd)

Staff recommends approval of the Zone Change from CR Regional Commercial to RD6 Duplex Residential because the proposed Zone Change is consistent with the Forward Toledo Plan and with the existing zoning and land uses in the surrounding vicinity. Additionally, the proposed Zone Change would allow for an infill development opportunity that's consistent with the current surrounding residential uses.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend approval of Z24-0006, a request for Zone Change from CR Regional Commercial to RD6 Duplex Residential at 434 South Avenue and 439 Maumee Avenue, to the Toledo City Council for the following **three (3) reasons**:

1. The rezoning is consistent with the Forward Toledo Comprehensive Land Use Plan.
2. The rezoning is compatible with the existing zoning and land uses in the general vicinity of the subject property (TMC§1111.0606(B)); and
3. The rezoning would allow for an infill development opportunity in an area that has historically been impacted by disinvestment.

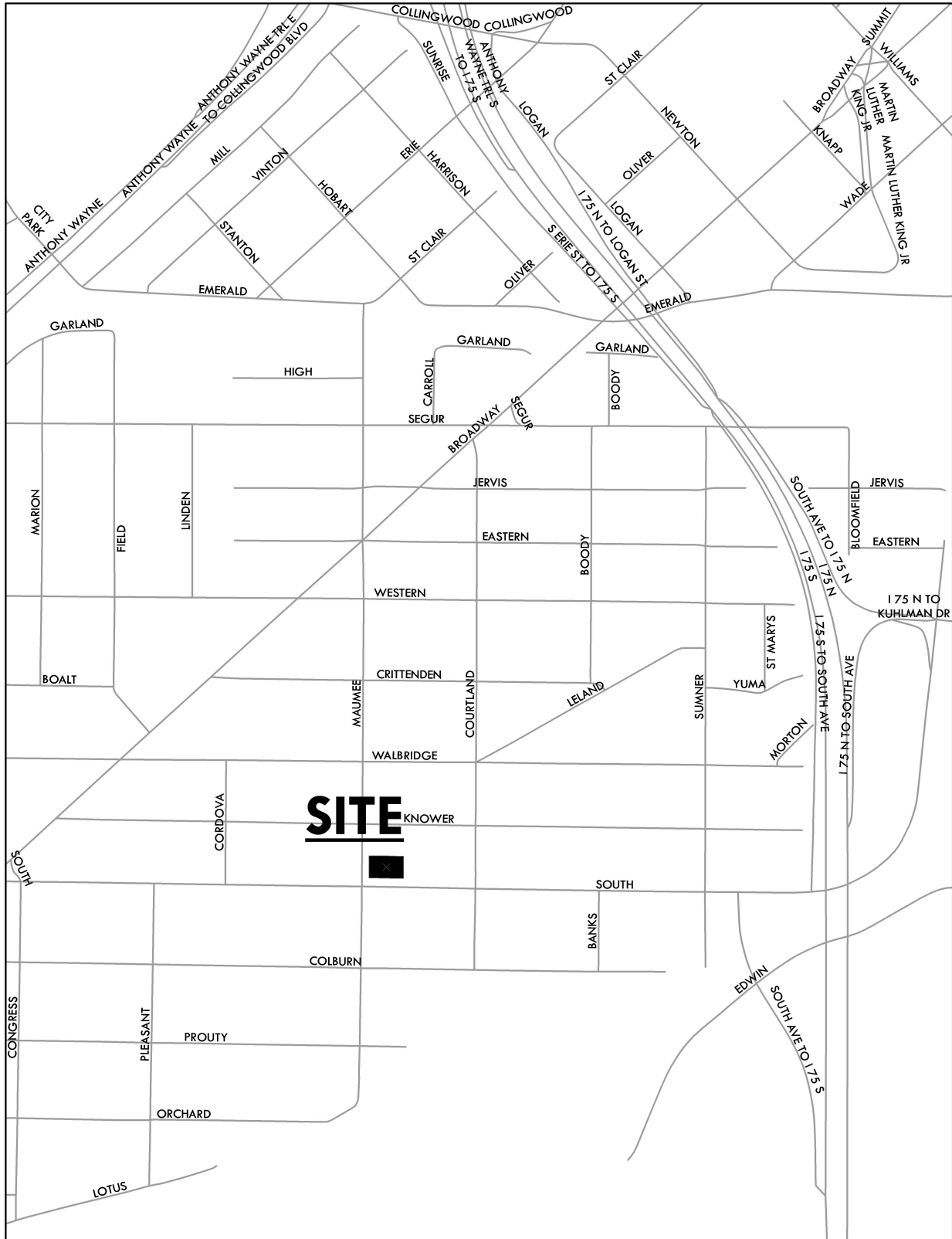
ZONE CHANGE
TOLEDO CITY PLAN COMMISSION
REF: Z24-0006
DATE: January 16, 2025
TIME: 2:00 P.M.

CITY COUNCIL
ZONING AND PLANNING COMMITTEE
DATE: February 19, 2025
TIME: 4:00 P.M.

ZM
Two (2) sketches follow

GENERAL LOCATION

Z24-0006



ZONING & LAND USE

Z24-0006



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GENERAL INFORMATION

Subject

- Request - Zone Change from RS6 Single-dwelling Residential to RD6 Duplex Residential
- Location - 0 Greystone Parkway
- Applicant - Deon Davis
2460 N. Reynolds Road
Toledo, OH 43615

Site Description

- Zoning - RS6 / Single-dwelling Residential
- Area - ± 2.6 acres
- Frontage - 50' on Greystone Parkway
- Existing Use - Undeveloped land
- Proposed Use - Four (4) Single-Dwelling Homes & five (5) Duplexes

Area Description

- North - Undeveloped residential land and apartments / RS6 & RM12
- East - Single-dwelling households and duplexes / RD6
- South - Single-dwelling households / RS6
- West - Single-dwelling households / RS6

Parcel History

- S-1-81 - Preliminary drawing for Biniker's Country Trail Estates, Plat III (PC approved 7/9/81).
- S-13-11 - Final Plat - Fieldview Addition Replat of Gardenview Acres Lots 67 thru 76 (PC disapproved with no prejudice 1/12/12).
- V-78-12 - Vacation of portion of Parkway at Lots 67 thru 76 in Gardenview Acres (PC approved with conditions 4/12/12. CC approved on 8/28/12 via Ord. 448-12).

GENERAL INFORMATION (cont'd)

Applicable Plans and Regulations

- Toledo Municipal Code, Part Eleven: Planning
- Forward Toledo Comprehensive Land Use Plan

STAFF ANALYSIS

The applicant is requesting a Zone Change from RS6 Single-dwelling Residential to RD6 Duplex Residential at 0 Greystone Parkway. The ±2.6-acre site is currently vacant and undeveloped, and the applicant is proposing a residential subdivision (*companion case S24-0016*) for the development of four (4) single-dwelling homes and five (5) duplexes. Surrounding land uses include undeveloped residential land and apartments to the north, single-dwelling households and duplexes to the east, and single-dwelling houses to the south and west. A Zone Change is required for this site because duplexes are not permitted in the current RS6 zoning district.

Density

The proposed RD6 Duplex Residential zoning district would require 6,000 square foot lots for both single-dwelling homes and duplexes, the latter of which requires 3,000 square feet per dwelling unit. The proposed subdivision would result in the creation of ten (10) lots, four (4) of which are designated for single-dwelling units and five (5) of which are designated for duplexes. The preliminary drawing for the subdivision adheres to the Intensity and Dimensional Standards of TMC§1106.0100.

Forward Toledo Comprehensive Land Use Plan

The Forward Toledo Plan targets this area for Low-Density Residential land uses. The intent of the Low-Density Residential land use designation is to provide space for contemporary auto-oriented suburban style neighborhoods in the city. Land uses within this designation are primarily single-family homes on individual lots, as well as duplexes when designed compatibly with neighborhood character. Staff recommends approval of the proposed Zone Change to RD6 Duplex Residential as it is consistent with the Forward Toledo Plan and will support the development of additional low-density housing within the city.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend approval of Z24-0002, a request for Zone Change from RS6 Single-dwelling Residential to RD6 Duplex Residential at 0 Greystone Parkway, to Toledo City Council for the following **two (2)** reasons:

1. The proposed zoning is consistent with the Comprehensive Plan and the stated purpose of the Zoning Code (TMC§1111.0606(A) – *Review & Decision-Making Criteria*); and

STAFF RECOMMENDATION (cont'd)

2. The proposed zoning is consistent with the zoning classification of properties within the general vicinity of the site (TMC§1111.0606(C) – *Review & Decision-Making Criteria*).

ZONE CHANGE
TOLEDO CITY PLAN COMMISSION
REF: Z24-0002
DATE: January 16, 2025
TIME: 2:00 P.M.

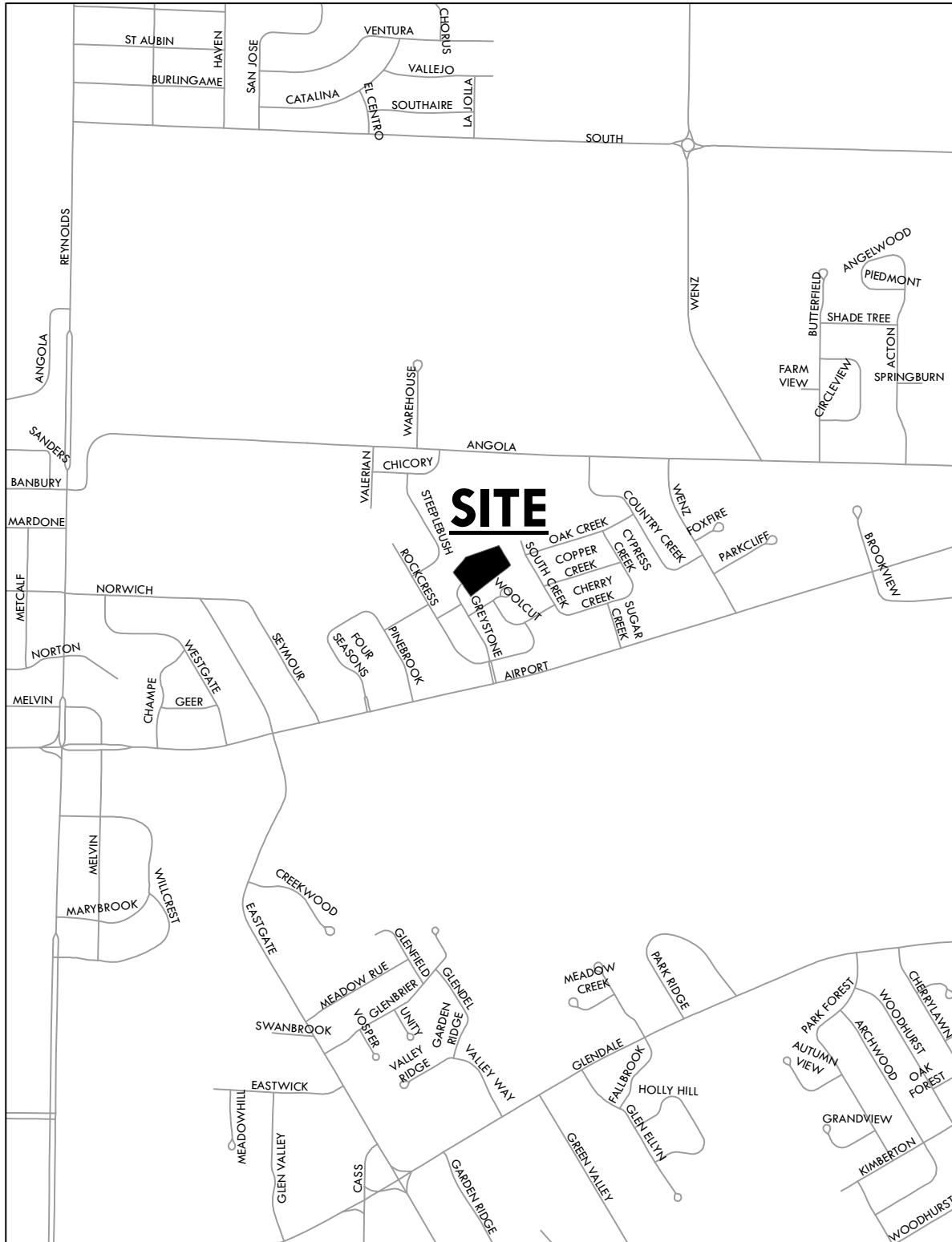
CITY COUNCIL
ZONING & PLANNING COMMITTEE
DATE: February 19, 2025
TIME: 4:00 P.M.

MJM

Two (2) sketches follow

GENERAL LOCATION

Z24-0002
ID 140



ZONING & LAND USE

Z24-0002
ID 140



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GENERAL INFORMATION

Subject

- Request - Preliminary Drawing for Fieldview Addition Being a Replat of Gardenview Acres Lot 1
- Location - 0 Greystone Parkway
- Applicant - Deon Davis
2460 N. Reynolds Road
Toledo, OH 43615
- Surveyor / Engineer - Lewandowski Engineers, A Verdantas Company
219 S. Erie Street
Toledo, OH 43604

Site Description

- Zoning - RS6 / Single-Dwelling Residential (*RD6 / Duplex Residential proposed*)
- Area - ±2.6 acres
- Frontage - 50' on Greystone Parkway
- Existing Use - Undeveloped land
- Proposed Use - Four (4) Single-Dwelling Homes & five (5) Duplexes

Area Description

- North - Undeveloped residential land and apartments / RS6 & RM12
- East - Single-dwelling households and duplexes / RD6
- South - Single-dwelling households / RS6
- West - Single-dwelling households / RS6

Parcel History

- S-1-81 - Preliminary drawing for Biniker's Country Trail Estates, Plat III (PC approved 7/9/81).
- S-13-11 - Final Plat - Fieldview Addition Replat of Gardenview Acres Lots 67 thru 76 (PC disapproved with no prejudice 1/12/12).
- V-78-12 - Vacation of portion of Parkway at Lots 67 thru 76 in

GENERAL INFORMATION (cont'd)

Parcel History (cont'd)

Gardenview Acres (PC approved with conditions 4/12/12. CC approved on 8/28/12 via Ord. 448-12).

Applicable Regulations

- Toledo Municipal Code, Part Eleven: Planning
- Forward Toledo Comprehensive Land Use Plan

STAFF ANALYSIS

The applicant has submitted a Preliminary Drawing in order to develop a ten (10) lot subdivision located at 0 Greystone Parkway. Pursuant to §307 of the *Subdivision Rules and Regulations for the City of Toledo*, subdivisions involving the creation of more than five (5) lots—or one (1) which creates, widens, or extends a public or private street—must be platted in accordance with major subdivision procedures. Surrounding land uses include undeveloped residential land and apartments to the north, single-dwelling households and duplexes to the east, and single-dwelling houses to the south and west.

Subdivision Design

The applicant is proposing the dedication of right-of-way for access to the site by extending Greystone Parkway. This extension will run east-west and extend about two-hundred feet (200') before it dead-ends into a cul-de-sac. Street addresses shall be assigned by the Division of Engineering Services.

All ten (10) proposed lots, ranging from 6,038 square feet to 10,875 square feet square feet, will front on Greystone Parkway. The applicant is proposing single-dwelling homes for four (4) of the lots, duplexes on five (5) of the lots, and the remaining lot will be used for open space and stormwater detention. All lots meet the fifty-foot (50') minimum lot width requirement for the proposed RD6-Duplex Residential zoning designation (*companion case Z24-0002*), as specified in TMC§1106.0101. Minimum setbacks from TMC§1106.0101 are also shown on the Preliminary Drawing, with the building envelope size depicted for each proposed lot.

Easements

Utility easements are shown on the Preliminary Drawing. The location of utility line easements is depicted outside the road right-of-way as required (except public utilities) and shall be subject to approval by the various utility providers. Utility easements may be located along the front lot line or on the rear or side lot lines as necessary for utility lines. Such easements shall be a minimum of ten feet (10') wide. Easements provided for storm drainage purposes shall not be less than twenty feet (20') wide for enclosed sewers. All utilities shall be placed

STAFF ANALYSIS (cont'd)

Easements (cont'd)

underground, according to the standards of the appropriate utility company and listed as a condition of approval.

Street Design and Construction Standards

The proposed Greystone Parkway extension and cul-de-sac is considered a minor street and meets the requirements of this street type as specified in Section 508 of the *Subdivision Rules and Regulations for the City of Toledo*. Sidewalks shall be placed within the right-of-way and shall be built to the standards outlined in Section 517 of the Subdivision Rules. In addition, street lighting and street trees shall be installed along the proposed right-of-way. Lighting shall be of a quantity to sufficiently light the street and trees shall be spaced according to Section 703 of the Subdivision Rules.

Street design standards shall be in accordance with the requirements and specifications of the Division of Engineering Services and the Division of Transportation. All pavement, sanitary, water line and storm drainage improvements, sidewalk, seeding, mulching, monuments, landscape requirements and other public improvements as listed on the Preliminary Drawing and engineering plans shall be completed before the signing of the Final Plat. The subdivider/developer shall complete these improvements to the satisfaction of the Division of Engineering Services, or other appropriate agency, or the subdivider/developer shall insure their completion with a performance guarantee acceptable to the Platting Commissioner.

Forward Toledo Comprehensive Land Use Plan

The Forward Toledo Plan targets this area for Low-Density Residential land uses. The intent of the Low-Density Residential land use designation is to provide space for contemporary auto-oriented suburban style neighborhoods in the city. Land uses within this designation are primarily single-dwelling homes on individual lots, as well as duplexes when designed compatibly with neighborhood character. Staff recommends approval of the Preliminary Drawing because it is consistent with the Forward Toledo Plan as it supports the development of additional low-density housing within the city. Additionally, staff recommends approval because the proposed development meets the requirements of the Subdivision Rules and Regulations.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission approve S24-0016, a Preliminary Drawing for Fieldview Addition Being a Replat of Gardenview Acres Lot 1, for the following **two (2)** reasons:

1. The proposed development is consistent with the Forward Toledo Comprehensive Land

STAFF RECOMMENDATION (cont'd)

Use Plan; and

2. The proposed development meets the requirements for the City of Toledo's Subdivision Rules and Regulations.

The staff further recommends approval of S24-0016, a Preliminary Drawing for Fieldview Addition Being a Replat of Gardenview Acres Lot 1, subject to the following **twenty-three (23)** conditions.

The following conditions are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

Engineering Services

1. All **proposed** sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way shall be constructed in accordance with the City of Toledo Construction Standards, Specifications, Toledo Municipal Code, and Americans with Disabilities Act guidelines.
2. All residential drive approaches, (along with the sidewalk through the drive) shall be constructed with 6" thick concrete per City of Toledo Construction Standards and Specifications. No curb shall be permitted in the right-of-way along either side of a drive approach.
3. Required permits for all approved work in the public right-of-way shall be obtained, before work begins, from Ted Rousos, 419-245-1347. The application can be obtained online at Toledo.oh.gov search: Right of Way opening permit.
4. The typical section for the pavement in the public right-of-way needs to be constructed in accordance with the City of Toledo Construction Standards.
5. Water service for this development is available subject to the Rules and Regulations of the Department of Public Utilities.
6. Maintain a minimum of 10 feet of clearance between the proposed water main and proposed storm and sanitary sewers. Maintain a minimum of 10 feet of clearance between proposed hydrants and proposed storm and sanitary sewers.
7. The stormwater planning is adequate for a preliminary plat, although Toledo has not received engineering work by which it could be confirmed that the proposed detention will suffice for stormwater management needs. Confirmation is recommended prior to the final plat. The basin design shall conform the Toledo Infrastructure Standards and Ohio CGP and it shall be drained by gravity unless a defense is made and accepted that a pump must be used. Should any stormwater landscape changes be made in the process of receiving engineering approval, further coordination with the Plan Commission may be required to receive engineering approval.

STAFF RECOMMENDATION (cont'd)

Engineering Services (cont'd)

8. Shared private storm lines within the subdivision shall have accompanying private easements shown on the plat.
9. Sanitary sewer service for this development is available subject to the Rules and Regulations of the Department of Public Utilities.
10. Sanitary sewer shall be completely within the proposed right-of-way. Sanitary sewer shall be a minimum of 10 feet inside of the proposed right-of-way.
11. Each lot shall have a separate sanitary sewer tap from the main line.

Chief Surveyor

12. Markups on the preliminary drawing submitted by the Chief Surveyor on 12/11/24 shall be addressed on the final plat.

Lucas County Health Department

No comments received at time of publication.

Lucas County Tax Map

No objections.

Columbia Gas

No comments received at time of publication.

Toledo Edison

No comments received at time of publication.

Buckeye Broadband

No comments received at time of publication.

Fire Prevention

No comments received at time of publication.

Division of Transportation

13. Sidewalks are required per TMC§1107.1301 and shall be constructed at the time of development.

STAFF RECOMMENDATION (cont'd)

Plan Commission

14. The east-west portion of the proposed right-of-way shall be an extension of Greystone Parkway and shall be named as such on the Final Plat. Street addresses shall be assigned by the Division of Engineering Services.
15. The location of utility line easements shall be subject to approval by the various utility providers and shall be a minimum width of ten feet (10’).
16. All utilities shall be placed underground, according to the standards of the appropriate utility company.
17. Per Section 703 of the City of Toledo Subdivision Regulations, street trees shall be installed along all streets in a major subdivision and shall meet the spacing criteria of said section. A street tree plan shall be submitted to the Plan Director for review and approval prior to the approval of a Final Plat.
18. Per Section 517 of the City of Toledo Subdivision Regulations, sidewalks shall be required along all streets.
19. Per Section 518 of the City of Toledo Subdivision Regulations, street lights shall be required along all streets and walkways. A street lighting plan shall be submitted to the Plan Director for review and approval prior to the approval of a Final Plat.
20. A statement on the Final Plat shall indicate: The owner of each lot shall provide a minimum four-foot (4’) wide sidewalks along all street frontage within the subdivision where required. The sidewalks will be four-inches (4”) in depth except at drives where six-inch (6”) depth will be provided for the full width of the drive. It is the duty of each lot owner, at his/her expense, to keep and maintain the sidewalks adjacent to his/her lot in a good and sufficient manner and to clear the aforesaid sidewalk of snow, ice, dirt and any other debris within twenty-four (24) hours after such deposit, and the owner shall indemnify and hold the City of Toledo harmless from any liability to any person for his/her neglect, failure or refusal in performing such duty.
21. A statement on the Final Plat shall indicate: All open space and/or detention areas within this plat and future plats of Fieldview Addition shall be the responsibility of a homeowners’ association whose membership includes the owners of all lots within this plat and future plats of Fieldview Addition. The homeowners’ association shall be responsible for the maintenance and property tax liability. In the event a homeowner’s association is not formed or ceases to exist, the property tax liability and maintenance of the open space and/or detention area(s) shall be equally shared and assessed to each individual lot owner within the plat and future plats of Fieldview Addition.
22. No permits shall be issued until arrangements satisfactory to the Director of the City of

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

Toledo Plan Commission have been made for compliance with the conditions as set forth above.

23. The Preliminary Drawing shall be valid for a three (3) year period from the date of approval by the Planning Commission.

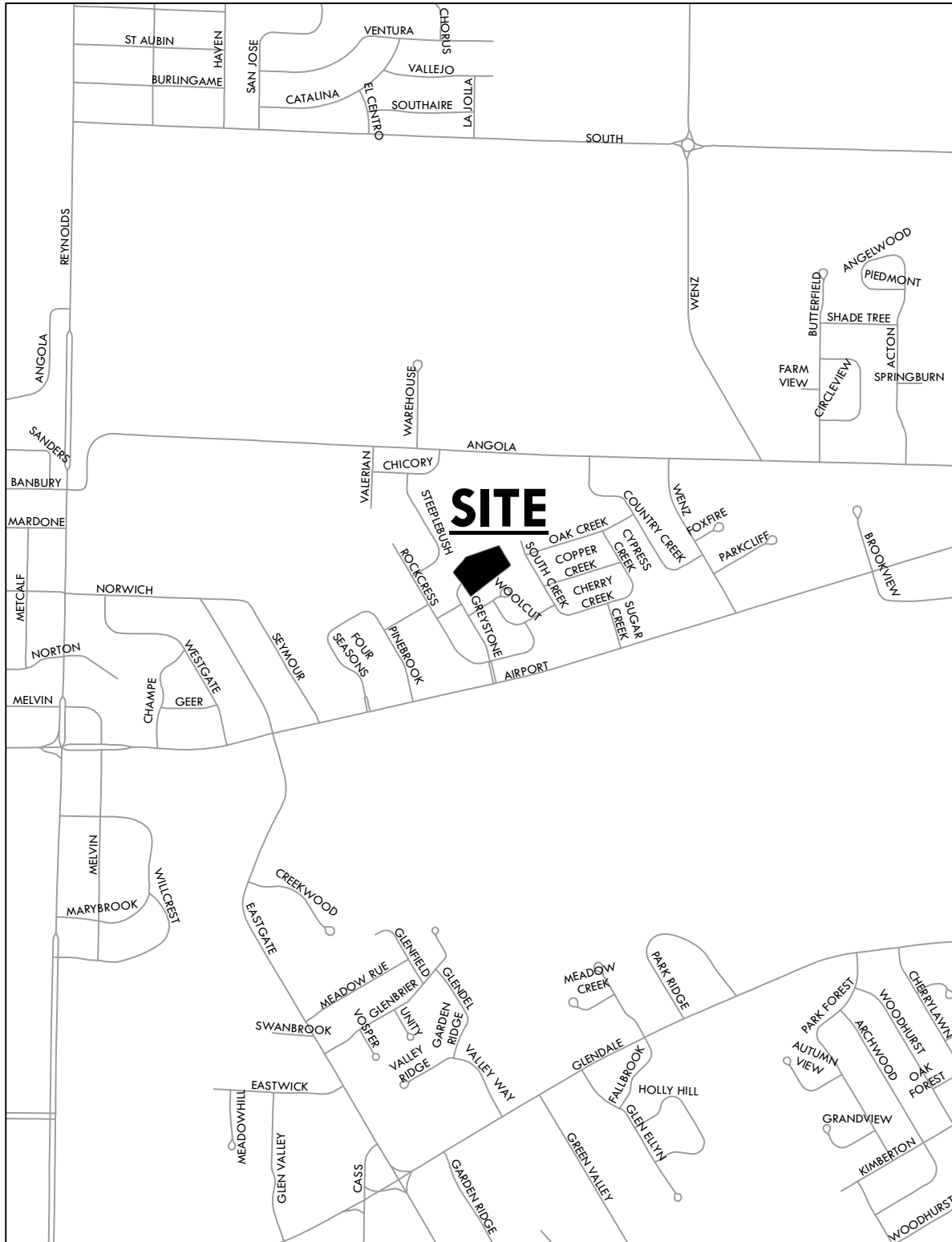
PRELIMINARY PLAT
TOLEDO CITY PLAN COMMISSION
REF: S24-0016
DATE: January 16, 2025
TIME: 2:00 P.M.

MJM

Four (4) sketches follow

GENERAL LOCATION

SUP24-0016
ID 140



ZONING & LAND USE

S24-0016
ID 140



PRELIMINARY PLAT

S24-0016
ID 140

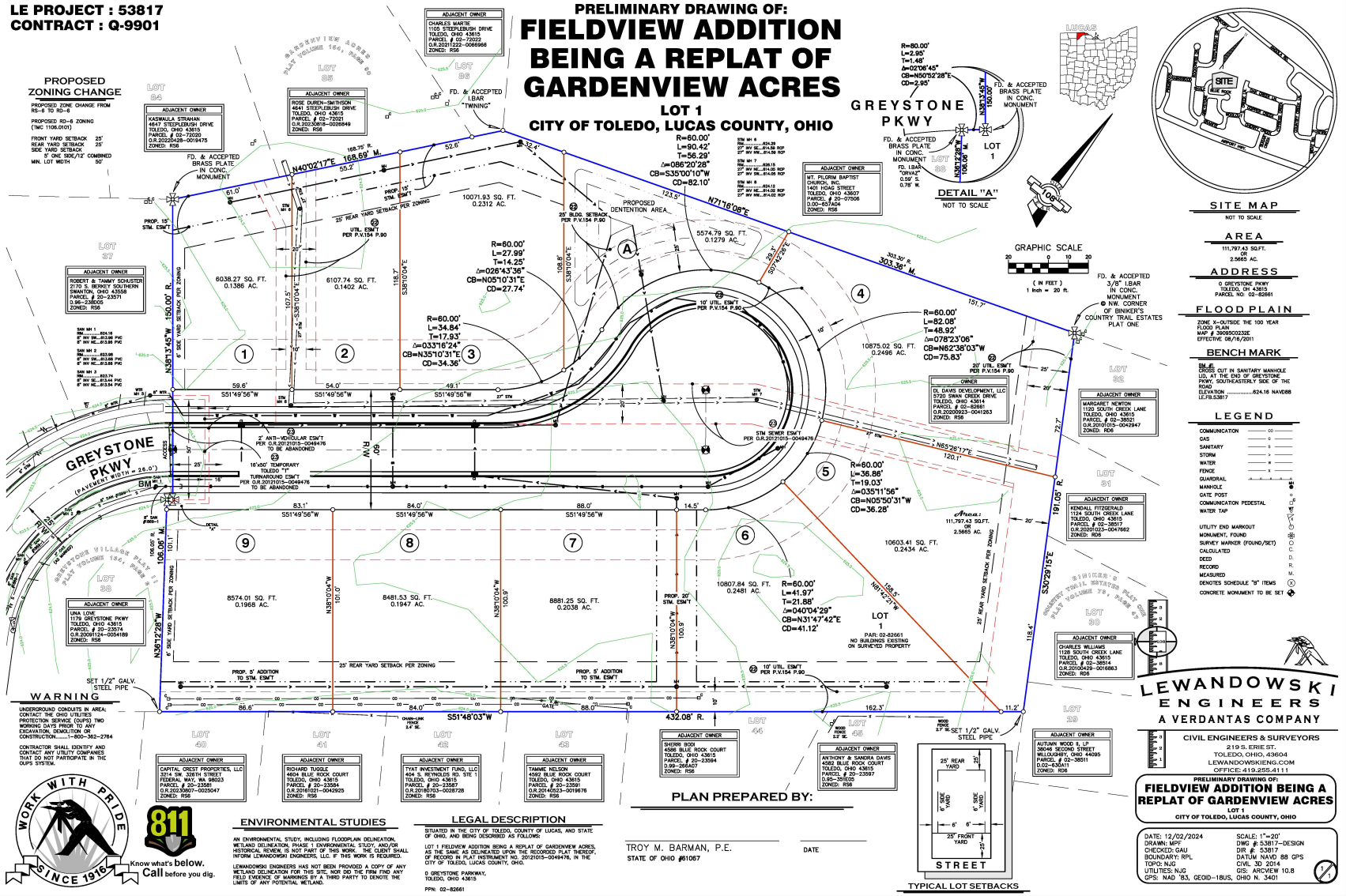


LE PROJECT : 53817
CONTRACT : Q-9901

PRELIMINARY DRAWING OF:
FIELDVIEW ADDITION
BEING A REPLAT OF
GARDENVIEW ACRES
LOT 1
CITY OF TOLEDO, LUCAS COUNTY, OHIO

PROPOSED ZONING CHANGE

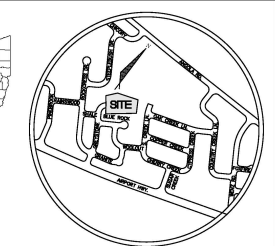
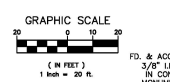
PROPOSED ZONE CHANGE FROM R5-B TO R5-B-1
PROPOSED REAR YARD SETBACK PER ZONING (INC 1106.010)
FRONT YARD SETBACK 20'
REAR YARD SETBACK 25'
SIDE YARD SETBACK OF ONE SIDE ONLY COMBINED MIN. LOT WIDTH 50'



GREYSTONE PKWY

FD. & ACCEPTED BRASS PLATE IN CONC. MONUMENT

DETAIL "A"
NOT TO SCALE



AREA
111,797.43 SQ. FT.
2.665 AC.

ADDRESS
0 GREYSTONE PKWY
TOLEDO, OH 43615
PARCEL NO. CD-80681

FLOOD PLAIN
ZONE: V-FLOOD THE 100 YEAR FLOOD PLAIN
MAP # 09000232E
EFFECTIVE 08/16/2011

BENCHMARK
BENCH CUT IN SANITARY MANHOLE FROM THE CORNER OF THE PROPERTY SOUTHEASTERN SIDE OF THE ELEVATION . . . 824.18 NAVD88
LETS/887

LEGEND

COMMUNICATION	10
GAS	11
SANITARY	12
STORM	13
WATER	14
FENCE	15
QUADRANT	16
MANHOLE	17
GATE POST	18
COMMUNICATION PEDESTAL	19
WATER TAP	20
UTILITY END MARKOUT	21
MONUMENT, FOUND	22
SURVEY MARKER (FOUND/SET)	23
CALCULATED	24
DEED	25
RECORD	26
MEASURED	27
CONCRETE SCHEDULE "B" ITEMS	28
DEMONSTRATE MONUMENT TO BE SET	29

LEWANDOWSKI ENGINEERS
A VERDANTAS COMPANY

CIVIL ENGINEERS & SURVEYORS
219 S. ERIE ST.
TOLEDO, OHIO 43604
LEWANDOWSKIENGINEERS.COM
OFFICE: 419.255.4111

FIELDVIEW ADDITION BEING A REPLAT OF GARDENVIEW ACRES
LOT 1
CITY OF TOLEDO, LUCAS COUNTY, OHIO

DATE: 12/02/2024
DRAWN: MPT
CHECKED: GAU
BOUNDARY: RPL
TOPIC: NLS
GPS: NAD 83, GEOID+BIUS, OHIO N. 3461

SCALE: 1"=20'
DWG #: 53817-DESIGN
DWT #: 53817
DATE: 12/02/2024
DWG #: 53817-DESIGN
DWT #: 53817
DATE: 12/02/2024
DWG #: 53817-DESIGN
DWT #: 53817

WORK WITH PRIDE
SINCE 1916

811
Know what's below.
Call before you dig.

ENVIRONMENTAL STUDIES
AN ENVIRONMENTAL STUDY, INCLUDING FLOODPLAIN DELINEATION, WETLAND DELINEATION, PHASE I ENVIRONMENTAL STUDY, AND/OR HISTORICAL RESEARCH IS NOT PART OF THIS WORK. THE CLIENT SHALL INFORM LEWANDOWSKI ENGINEERS, LLC IF THIS WORK IS REQUIRED.

LEGAL DESCRIPTION
SITUATED IN THE CITY OF TOLEDO, COUNTY OF LUCAS, AND STATE OF OHIO, AND BEING DESCRIBED AS FOLLOWS:
LOT 1 FIELDVIEW ADDITION BEING A REPLAT OF GARDENVIEW ACRES AS THE SAME AS DELINEATED UPON THE RECORDED PLAT THEREOF OF RECORD IN PLAT INSTRUMENT NO. 202105-004476, IN THE CITY OF TOLEDO, LUCAS COUNTY, OHIO
0 GREYSTONE PARKWAY, TOLEDO, OHIO 43615
PPL: 02-86681

PLAN PREPARED BY:
TROY M. BARMAN, P.E.
STATE OF OHIO #01067

DATE _____

S - 10

PRELIMINARY PLAT WITH BUILDINGS

S24-0016
ID 140



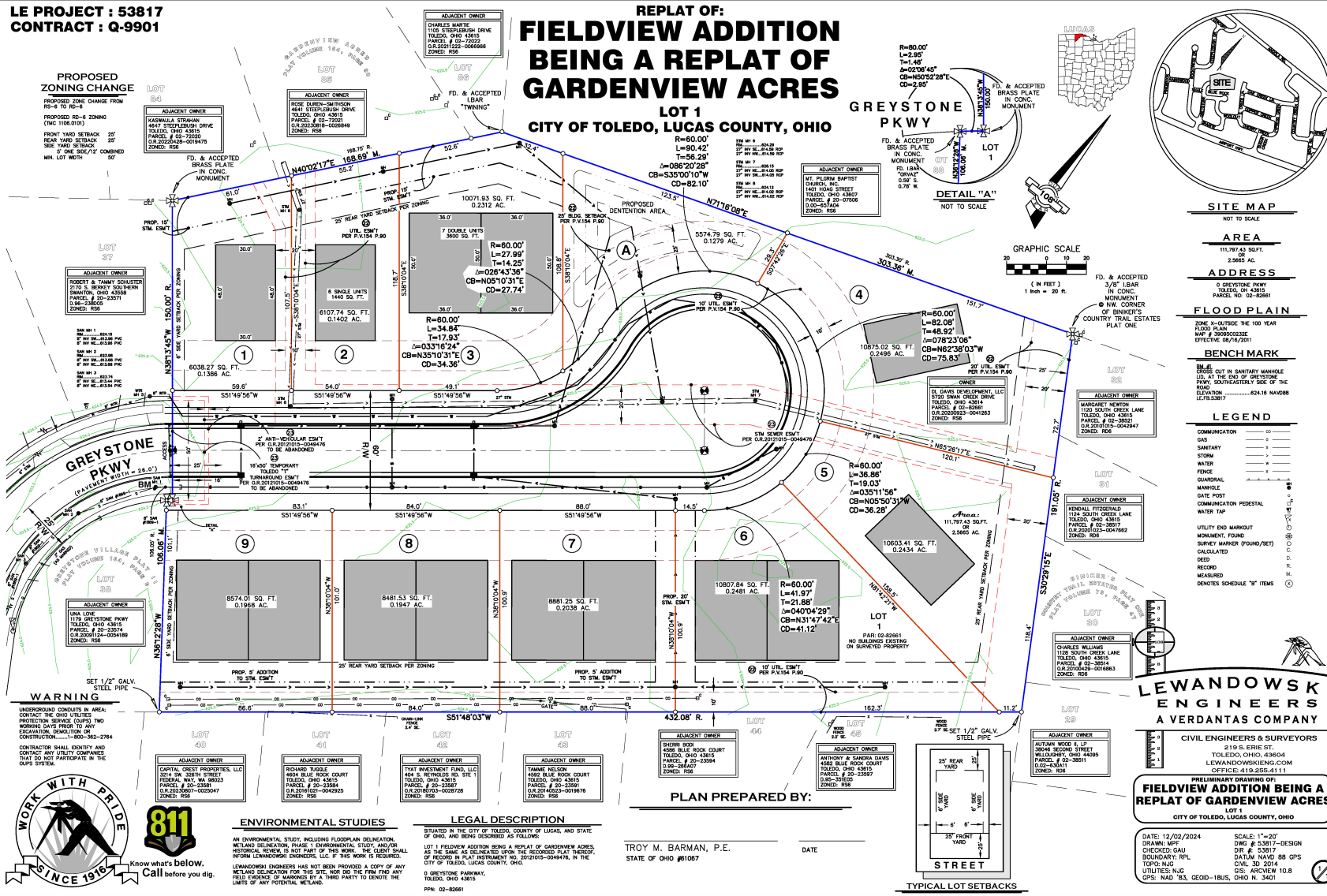
LE PROJECT : 53817
CONTRACT : Q-9901

REPLAT OF: FIELDVIEW ADDITION BEING A REPLAT OF GARDENVIEW ACRES

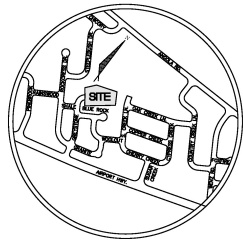
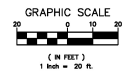
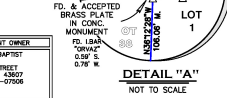
LOT 1
CITY OF TOLEDO, LUCAS COUNTY, OHIO

PROPOSED ZONING CHANGE

PROPOSED ZONE CHANGE FROM R-4 TO R-4S
PROPOSED R-4S ZONING (MAY 11, 2016)
FRONT YARD SETBACK 25'
REAR YARD SETBACK 25'
SIDE YARD SETBACK 5' ONE SIDE/7' COMBINED MIN. LOT WIDTH 50'



GREYSTONE PKWY



AREA
11,797.43 SQ. FT.
2.665 AC.

ADDRESS
0 GREYSTONE PKWY
TOLEDO, OH 43615
PARCELS NO. 02-80481

FLOOD PLAIN
ZONE V-X OUTSIDE THE 100 YEAR FLOOD PLAIN
MAP # 09000232E
EFFECTIVE 08/16/2011

BENCH MARK
BENCH MARK CUT IN SANITARY MANHOLE FROM W. END OF GREYSTONE PKWY, SOUTHEASTLY SIDE OF THE ROAD, SOUTH EASTERLY SIDE OF THE ELEVATION . . . 624.18 NAVD88
LETS/887

LEGEND

COMMUNICATION	10
GAS	11
SEWER	12
STORM	13
WATER	14
FENCE	15
QUADRANT	16
MANHOLE	17
GATE POST	18
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219 S. ERIE ST.
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OFFICE: 419.255.4111

FIELDVIEW ADDITION BEING A REPLAT OF GARDENVIEW ACRES

LOT 1
CITY OF TOLEDO, LUCAS COUNTY, OHIO

DATE: 12/02/2024
DRAWN: MPT
CHECKED: GAU
BOUNDARY: RPL
TOPIC: NLS
GPS: NAD 83, GEOID+11US, CHD N. 3461

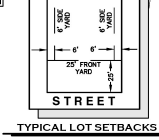
SCALE: 1"=20'
DWG #: 53817-DESIGN
D#: 53817
DATE: NOV 08 09S
CIV. 30 2014
GIS: ARCVIEW 10.8
GPS: NAD 83, GEOID+11US, CHD N. 3461

ENVIRONMENTAL STUDIES
AN ENVIRONMENTAL STUDY, INCLUDING FLOODPLAIN DELINEATION, WETLAND DELINEATION, PHASE I ENVIRONMENTAL STUDY, AND/OR HISTORICAL RESEARCH IS NOT PART OF THIS WORK. THE CLIENT SHALL INFORM LEWANDOWSKI ENGINEERS, LLC IF THIS WORK IS REQUIRED.
LEWANDOWSKI ENGINEERS HAS NOT BEEN PROVIDED A COPY OF ANY WETLAND DELINEATION FOR THIS SITE, NOR DO THE FPM FIND ANY FIELD EVIDENCE OF WETLANDS BY A THIRD PARTY TO DENY THE LIMITS OF ANY POTENTIAL WETLAND.
PPL: 02-86461

LEGAL DESCRIPTION
SITED IN THE CITY OF TOLEDO, COUNTY OF LUCAS, AND STATE OF OHIO, AND BEING DESCRIBED AS FOLLOWS:
LOT 1 FIELDVIEW ADDITION BEING A REPLAT OF GARDENVIEW ACRES AS THE SAME AS DELINEATED UPON THE RECORDED PLAT TITLED "REPLAT OF GARDENVIEW ACRES" BEING A REPLAT OF GARDENVIEW ACRES, IN THE CITY OF TOLEDO, LUCAS COUNTY, OHIO
0 GREYSTONE PARKWAY, TOLEDO, OHIO 43615
PPL: 02-86461

TROY M. BARMAN, P.E.
STATE OF OHIO #01067

PLAN PREPARED BY:



LOT 1 IN FIELDVIEW ADDITION BEING A REPLAT OF GARDENVIEW ACRES

S-11

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GENERAL INFORMATIONSubject

Request	-	Special Use Permit for Used Auto Sales Lot
Location	-	5655 Secor Road
Applicant	-	Zobaida Falah 5655 Secor Rd. Toledo, OH 43623
Owner	-	Sigma Restaurants Inc 6065 Winterhaven Dr Sylvania, OH 43560
Architect	-	Angela Holm Architecture by Design, Ltd. 5622 Mayberry Square Sylvania, OH 43560

Site Description

Zoning	-	CR / Regional Commercial
Area	-	± 1.48 acres
Frontage	-	± 202.86' along Carol Avenue ± 176.68' along Secor Road
Existing Use	-	Vacant Used Auto Sales Lot
Proposed Use	-	Used Auto Sales Lot

Area Description

North	-	Coral Avenue, Grocery Store / CR
South	-	Ice Cream Parlor, Apartments / CR
East	-	Secor Road, Credit Union / CR
West	-	Single-family Dwellings / RS6

Combined Parcel History

S-69-60	-	Final plat for Trilby Heights Plat 1(PC approved 6/8/61)
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GENERAL INFORMATION (cont'd)

- T-209-86 - Deed transfer to split a portion of Lot 20 in Trilby Heights Plat 1 (Administratively denied, PC approved 2/5/87).
- SPR-31-05 - Minor Site Plan review with landscape waivers (Applicant withdrawn 6/1/05).
- SPR-25-06- - Major Site Plan review for a retail strip mall (PC approved 7/13/06).
- Z-4009-06 - Zone Change from RS6 Single Family Residential to CR Regional Commercial (PC approved 7/13/06, CC approved 1/16/07 Ord. 44-07).
- Z-10002-06 - Zone Change from RS6 Single Family Residential to CR Regional Commercial (PC approved 12/7/06, CC approved 1/16/07 Ord. 44-07).
- SPR-41-08 - Major Site Plan review for a bank (PC approved 9/11/08).
- S-8-08 - Final Plat Secor Coral Plat 1 (PC Approved 9/11/08)
- SPR-46-08 - Major Site Plan review for a drive up at an existing ice cream parlor and a proposed self-storage facility (PC approved 10/9/08).
- S-3-12 - Amendment to Secor Coral Plat 1 (PC approved 6/16/12).
- SPR-42-13 - Major Site Plan review for a new restaurant and parking lot (PC approved 11/7/13).
- S-16-16 - Preliminary Drawing for the Alma Rosenthorn Corner subdivision located at the southwest corner of Secor Road and Coral Avenue (PC approved 9/8/16).
- SUP-6005-16 - Special Use Permit to operate a Used Auto Sales facility (PC approved 11/3/16, CC approved 12/20/16 Ord. 519-16)

GENERAL INFORMATION (cont'd)Combined Parcel History (cont'd)

T-78-18	-	Minor Subdivision lot split to separate north half of Lot from southern (Administratively approved 10/18/18).
SUP-12006-21	-	Special Use Permit to operate a Used Auto Sales facility (PC approved 4/14/22, CC approved 1/10/23 Ord. 33-23).
S-5-22	-	Final Plat Alma Rosenthorn Corner subdivision (PC approved 11/3/22, recorded 11/8/22).

Applicable Regulations

- Toledo Municipal Code, Part Eleven: Planning and Zoning
- Forward Toledo Comprehensive Plan

STAFF ANALYSIS

The applicant is requesting a Special Use Permit (SUP) to operate a Used Auto Sales Lot at 5655 Secor Road. The site currently is vacant and was previously operated as used auto sales lot which the applicant intends to upgrade and conform to the current Zoning Code requirements. The overall ±1.48 acres site is zoned CR Regional Commercial. Surrounding land uses include Monette's grocery store to the north across Coral Avenue; a credit union to the east across Secor Road; Handel's ice cream parlor and apartment buildings south of the property; and single-family residential dwellings to the west of the site. The site had previously been approved for Used Auto Sales via SUP-6005-16 in 2016 and again via SUP-12006-21 in January of 2023. However, the conditions of approval were not met and the Special Use Permit has since expired. A new SUP is required in order to operate Used Auto Sales in CR Regional Commercial.

The site plan submitted depicts an "existing asphalt parking area" for future expansion in the southwest area of the parcel. The area for proposed future expansion shall not be used for storage or parking of vehicles. Any future modifications or use of this area shall be subject to review for an amendment to the Special Use Permit.

STAFF ANALYSIS (cont'd)

Zoning and Plat Requirements

In 2006 the parcel containing the site was conditionally rezoned CR via Ord. 44-07. The rezoning was conditional upon the approval and recording of a commercial plat for all four parcels involved. Pursuant to TMC§1104.0307, used automobile and recreational vehicle sales are not permitted on sites with another primary use. This site was once a parcel that included Handel's ice cream parlor and the Used Auto sales lot. For a Used Auto Sales lot to be considered on this site with the existing adjacent business; it was necessary for the parcel to be split and replated. A final plat which consolidated the site into two lots was approved by the Plan Commission on September 8, 2016 but was not recorded and therefore expired. A new final plat was approved by Planning Commission on November 3, 2022 and recorded on November 8, 2022. Since the previous condition of rezoning from RS6 to CR through the platting process has been satisfied, the Used Auto Sales is permitted on the site when the Special Use Permit is obtained.

Used Auto Regulations

TMC§1104.0300 – *Auto and RV Sales, Used Only* outlines site design criteria for used auto sales facilities, including criteria governing minimum lot size and frontage. Used auto sales facilities must be located on a lot with no less than one-half (1/2) acre and have a minimum average width of 150 feet along the main road frontage. TMC§1104.0309 *Auto and RV Sales, Used Only*, requires a permanent structure with a minimum floor area of 200 square feet, and meet the required building design standards. The current structure on site is existing therefore the building design standards are not applicable. However, any future modifications to the exterior of the structure shall be subject to building design standards of TMC§1109.0500.

Site plans for Used Auto Sales shall delineate, with dimensions, parking areas and drive aisles for the outdoor display area and customer/employee parking area. Used vehicle inventory shall only be displayed, parked or located within designated parking spaces approved and defined on the plan. The site plan submitted is in compliance with these specific use regulations. Per TMC§1104.0308, required customer/employee parking areas may not be used for used vehicle inventory. Elevated displays, lifts or metal structures used in conjunction with the display of motor vehicles shall be permitted only within those areas specifically designated upon the site plan and shall not be allowed in any required front yards. Additionally, all used motor vehicles parked or displayed outdoors are required to conform to Chapter 337, Safety and Equipment, of the Traffic Code and shall be operable.

STAFF ANALYSIS (cont'd)

Parking and Circulation

Pursuant to TMC§1107.0304 – *Parking, Loading, and Access*: Schedule A, a Used Auto and Recreational Vehicle Sales/Rental facility is required to have one (1) parking space per every 5,000 square feet of open sales area, plus one (1) parking space per every 500 square feet of enclosed sales area, plus one and one half (1.5) per every service bay. The site plan submitted depicts the existing sales area as 26,135 sq. ft without any service bays. Calculations require six (6) customer parking spaces to be provided on site. One (1) van accessible and two (2) auto accessible spaces for persons with disabilities are required and shall be located as close as possible to the main entrance of the sales office. The site plan submitted depicts a total of fifty-one (51) parking spaces, one (1) of which is an auto accessible and two (2) van accessible parking spaces. Used vehicle inventory shall only be displayed, parked or located within parking spaces approved and defined on the site plan.

In pursuant to TMC§1107.1303, sidewalks in commercial districts shall be constructed along all public streets. Per the site plan sidewalk exists surrounding the lot along the public roads. However, sidewalk is not existing at the north west area along Coral Avenue. Sidewalk shall be installed to complete connectivity, conform to this section of the code, and is listed as a condition of approval. This site has a shared access easement for the driveway accesses with the adjacent drive-thru business to the south; north from Coral Avenue and east from Secor Road. As a condition of approval, the stacking spaces for Handel's ice cream parlor shall only be permitted within the shared access easement areas as depicted on the Final Plat.

Landscaping

A fifteen-foot (15') frontage greenbelt is required along all public streets per TMC§1108.0202 – *Frontage Greenbelt*. The frontage greenbelt shall include at least one (1) tree per every thirty feet (30') of frontage and a continuous shrub with a minimum installation height of eighteen inches (18") to meet full screening at maturity. All portions of greenbelts abutting parking or driving area shall include a solid evergreen hedge as to screen headlights from shining into the public right-of-way. The site plan submitted depicts eight (8) trees along Coral Avenue and is in compliance with the frontage greenbelt. However, the frontage along Secor Road requires a minimum of six (6) trees and a continuous shrub. The site plan submitted depicts four (4) trees which is not in compliance with the minimum quantity; two (2) additional trees are required along Secor Road and listed as a condition of approval, along with the installation of a continuous shrub in the southernly portion along the Secor Road frontage.

STAFF ANALYSIS (cont'd)

Landscaping (cont'd)

A Type “A” landscape buffer is required along all portions of the site abutting residential areas. Type “A” landscape buffers shall be a minimum of ten feet (10’) in width and include a solid privacy fence six foot (6’) to eight foot (8’) in height. Fencing is to be installed so that the smooth/flush side faces away from the development site. Four (4) trees and fifteen (15) shrubs are required per every one-hundred (100) linear feet. The south western area of the site where the proposed parking lot is abutting residential districts requires a continuous evergreen hedge (minimum eighteen inches (18’) in height when installed) in lieu of the shrubs; to provide screening from headlights onto the abutting residential district.

Parking lot interior and perimeter landscaping is required per TMC§1108.0204 – *Parking Lot Landscaping (Interior and Perimeter)*. Twenty square feet (20’) of landscaping is required per parking and stacking space on site, landscaping of the frontage greenbelt does not contribute to this count. A peninsula landscape area that is a replication of or mimics the existing peninsula landscape area near the access drive entrance from Secor road, shall be required near the north access drive entrance off Coral Avenue and is listed as a condition of approval. Two (2) trees and six (6) shrubs are required for each ten (10) parking spaces. The site plan submitted depicts fifty- one (51) parking spaces thus, ten (10) trees and thirty (30) shrubs are required within the interior of the parking lot. Trees and shrubs may be planted along the western perimeter of the parking lot, north of the building structure, and may count towards interior parking lot planting requirements of TMC§1108.0204(C). For commercial uses in addition to buffers, frontage greenbelts, and parking lot landscaping; one (1) two-inch (2”) caliper tree for every one-thousand (1,000) square feet of building coverage is required, the submitted site plan is in compliance with this requirement. Additionally, foundation plantings along all portions of the buildings that are visible from the public right-of-way and landscaping at all major building entrances are required. The site plan submitted depicts planters at the building entrance which are acceptable. However, foundation plantings shall be provided along the northern portion of the building adjacent to Carol Avenue and listed a condition of approval.

All landscape materials must be properly maintained indefinitely and no approved plant material shall be removed for any reason without being replaced with like kind or without submitting a revised landscape plan to the Planning Director for review or approval. Trees are not required to be evenly spaced and may be clustered. All existing trees on the site with a caliper of four (4”) inches or more must be mapped prior to site planning and should be incorporated into the landscape plan to the maximum practical extent. All trees in excess of twelve inches (12”) in diameter must be retained to the maximum practical extent (TMC1108.0407(A)). A landscape plan depicting the species/type of plants, location, and showing compliance with all landscaping standards is required as a condition of approval.

STAFF ANALYSIS (cont'd)

Forward Toledo Comprehensive Land Use Plan

The Forward Toledo future land use map targets this site as Neighborhood Mixed Use (NM). While a Used Auto Sales Lot is not a typical land use for the NM designation, the site does provide the physical characteristics of NM and provides elements which support the goals of Forward Toledo. Pedestrian connectivity shall be enhanced through the installation of a sidewalk along Coral Avenue and the site parking lot supports more than one user. The proposed site with updates will meet the goals of Move, Place, and Sustain. With the installation of sidewalk, the site will support pedestrian connectivity and accessibility while promoting walkability. The sidewalk and landscaping also support making attractive places to live and strengthen the surrounding aesthetics to nearby commercial businesses. Proposed landscaping will incorporate native plantings, improve tree canopy, preserve open space and reduce the urban heat-island effect. Staff recommends approval of the Special Use permit for the Used Auto Sales Lot because the proposed site meets the Use Regulations for minimum lot size and acreage. Additionally, the proposed use meets the state purpose of the Zoning Code and is compatible with the adjacent commercial uses along Secor Road.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend approval of SUP24-0005, the request for a Special Use Permit for a Used Auto Sales Lot at 5655 Secor Road, to Toledo City Council, for the following three (3) reasons:

1. The proposed use meets the minimum lot size of one-half (1/2) acre and the minimum average width of 150 feet along the main road frontage (TMC§1104.0306).
2. The proposed use meets the stated purpose of the Zoning Code (TMC§1111.0706(A) *Review & Decision-Making Criteria*) and;
3. The proposed use is compatible with adjacent uses in terms of scale, site design, and operating characteristics (TMC§1111.0706(C) *Review & Decision-Making Criteria*).

The staff further recommends that the Toledo City Plan Commission recommend approval of SUP24-0005, request for a Special Use Permit for a Used Auto Sales Lot at 5655 Secor Road, to Toledo City Council, subject to the following twenty-eight (28) conditions:

The conditions of approval are as follows and are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

STAFF RECOMMENDATION (cont'd)

Division of Environmental Services

1. Applicant shall maintain compliance with the City of Toledo's Storm Water regulations as specified in the Toledo Municipal Code. Special attention must be paid to all potential storm water impacts from the modification of the site, including but not limited to long-term operation and maintenance of existing structural and non-structural Best Management Practices.
2. Applicant shall maintain compliance with Ohio EPA's General Storm Water NPDES permit programs.
3. Applicant is strongly encouraged to install permanent inlet filters with oil absorbent pillow in parking lot catch basins to treat stormwater.
4. Applicant is strongly encouraged to include multiple green infrastructure measures to minimize runoff and increase infiltration, and to minimize the amount of new and/or additional impervious surface on the site.
5. Applicant is strongly encouraged to plant native, low maintenance and non-invasive trees, shrubs and perennials. Information is at <https://ohiodnr.gov/wps/portal/gov/odnr/discover-and-learn/plants-trees/invasive-plants>; a list of invasive plants and alternative species can be downloaded from https://www.oipc.info/uploads/5/8/6/5/58652481/alternatives_to_ohio_invasive_plant_species.pdf
6. Applicant shall maintain compliance with the City of Toledo and the State of Ohio's Air Quality Regulations applicable in the Toledo Municipal Code and the Ohio Administrative Code including, but not limited to the Asbestos and the Anti-Noise Laws.

Division of Engineering Services

No comments from Division of Engineering Services.

Fire Prevention

No comments from Fire Department.

Division of Transportation

7. Bicycle parking is required per TMC§1107.0900

STAFF RECOMMENDATION (cont'd)

Plan Commission

8. Sidewalk shall be installed along Coral Avenue in accordance with **TMC§1107.1303**.
9. Per **TMC§1107.1906**, all off-street parking, loading, and other vehicle circulation areas shall be graded and continuously maintained and designed to preclude free flow of storm water across or onto adjacent lots, properties, or streets.
10. Dumpster location(s) shall be clearly defined, have a concrete pad and be surrounded by a solid wooden fence or a masonry screen enclosure with landscaping and shall not be located in any required setbacks or within the public right-of-way. **Acceptable as depicted.**
11. Pursuant to TMC§1104.0308, all vehicles on display must be parked in striped parking spaces that shall be designated on an approved Site Plan. Vehicle parking that deviates from the approved Site Plan shall not be permitted. **Acceptable as depicted.**
12. Elevated displays lifts or metal structures used in conjunction with the display of motor vehicles shall be permitted only within those areas specifically designated upon the Site Plan and shall not be allowed in any required front yard. (TMC§1104.0302(A)); **if applicable.**
13. All vehicles on display shall be parked in striped parking spaces that shall be designated on an approved site plan. Vehicle parking that deviates from the approved site plan shall not be permitted. **Acceptable as depicted.**
14. The minimum number of parking spaces designed for persons with disabilities that must be provided shall adhere to the table TMC§1107.1701, and be located in close proximity to build entrances with an unobstructed path. **Acceptable as depicted**
15. All used motor vehicles parked or displayed outdoors shall conform to Chapter 337, Safety and Equipment, of the Traffic code and shall be operable.
16. Repairs and services of vehicles shall be conducted wholly within an enclosed building permanently located on the site.
17. Off-street parking and loading spaces, parking lots, maneuvering areas, aisles and driveways must be surfaced with concrete, bituminous asphalt, or other dust-free material other than gravel or loose fill, and be graded to drain all surface water towards the interior of the parking lot.

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

18. Display areas shall incorporate curbs and other substantial permanent barriers as approved by the Planning Director to prevent encroachment of vehicles into the required setback and landscaped areas.
19. Whenever a parking lot extends to a property line, sidewalk, planting strip, or building, a wheel stop device consisting of a concrete stop, a permanent concrete curb, an expanded sidewalk or other suitable restraint as approved by the Planning Director must be installed to prevent any part of a parked motor vehicle from extending beyond the property line, overhanging a pedestrian walkway or sidewalk, or damaging any structure or landscaping (TMC§1107.1907(A)).
20. A fifty-foot (50') separation measured along the street frontage between any open display sales lot and a Residential district boundary line shall be maintained. This separation shall apply to both side of a street and to intersecting streets on corner lots.
Acceptable as depicted
21. If the sales building is rebuilt or modified in the future, the building design shall meet the requirements of TMC§1109.0500 *Building Façade Materials and Color*. Exterior building materials shall not include concrete blocks, concrete panels or wood sheet goods as a predominant material. EIFS may not constitute more than 20% of the exterior for facades visible from the public right-of-way. The façade colors shall be low-reflectance, subtle, neutral or earth tone colors.
22. The location, lighting and size of any signs, all signage is subject to TMC§1387. No new free-standing signs greater than forty-two inches (42") from grade are permitted - any proposed signage must meet the requirements of **TMC§1113 – Signs**.
23. A detailed site, lighting, fencing and landscaping plan (separate from building & site plans) shall be submitted to the Plan Director for review and approval. Such plan shall include:
 - a. A minimum fifteen-foot (15') wide frontage greenbelt along all public streets is required. Frontage greenbelt shall include one (1) tree per every (30') of frontage, and a continuous shrub (minimum installation height of 18"). A total of eight (8) trees along Coral Avenue and six (6) trees along Secor Road are required; **Not acceptable. A revised landscaping plan shall be submitted depicting the additional two (2) trees along Secor Road.**

Plan Commission (cont'd)

- b. A Type “A” landscape buffer is required along all portions of the site abutting residential districts. Type “A” landscape buffer shall be at least ten feet (10’) in width and include a solid wood six foot (6’) to eight foot (8’) high fence. Fencing is to be installed so that the smooth/flush side faces away from the development site. Four (4) trees and fifteen (15) shrubs are required per one-hundred (100) linear feet; **Acceptable as depicted.**
- c. The south western location of the site where parking lot is abutting residential districts requires a continuous evergreen hedge (minimum 18” in height when installed) in the Type “A” buffer in lieu of individual shrubs; **Not acceptable as depicted**
- d. Parking lot interior and perimeter landscaping is required. For every parking space provided twenty square feet (20’) of landscaping is required. A total 1,020 sq feet of interior parking lot landscaping shall be provided. A peninsula landscape area that replicates or mimics the existing peninsula landscape area at the eastern (Secor Road) driveway entrance, is required at the northern (Coral Avenue) entrance. A total of ten (10) trees and thirty (30) shrubs are required within the interior parking lot landscaping. Trees and shrubs that do not fit in peninsula landscape areas may be planted along the western perimeter of the parking lot perpendicular to Coral Avenue (north of the sales building) and count towards the interior parking lot landscaping requirements. **Not acceptable. A revised landscaping plan shall be submitted.**
- e. One (1) two-inch (2”) caliper tree for every one-thousand square foot (1,000 sq. ft.) of building coverage is required. **Acceptable as depicted.**
- f. Foundation plantings are required along all portions of the building that are visible from the public right-of-way, and landscaping at all major building entrances. Foundation plantings are required. **Not acceptable. A revised landscaping plan shall be submitted depicting foundation plantings along the northern portion of the of the sales building parallel to Carol Avenue.**
- g. Landscaped areas may not contain bare soil, aggregated stone or decorative rock. Any ground area must be covered with hardwood mulch, grass or other vegetative ground coverage.
- h. Topsoil must be back filled to provide positive drainage of the landscape area.

Plan Commission (cont'd)

- i. All landscape material must be properly maintained. No approved plant material shall be removed for any reason without being replaced with like kind, or without submitting a revised landscape plan to the Planning Director for review or approval.
- j. The land owner, or successors in interest, or agent, if any, or lessee must be jointly responsible for all the regular maintenance of all landscape materials as well as any plant material removed.
- k. All landscaped areas shall be provided with a readily available water supply in accordance with TMC§1108.0406 *Irrigation/Watering*. Water outlets (hose bibbs) shall be provided within one-hundred feet (100') of all required plant material unless a subsurface irrigation system is used. **Irrigation plans must be submitted with development plans and, in the case of a subsurface irrigation system, contain all construction details.**
- l. Buffers or landscaped areas that are part of the stormwater runoff system must comply with the City's stormwater discharge control policies pursuant to Chapter 941 of the Streets, Utilities, and Public Services Code as administered by the Department of Public Utilities.
- m. All existing trees on the site with a caliper of four inches (4") or more must be mapped prior to the site planning and should be incorporated into the landscape plan to the maximum practical extent.
- n. All trees in excess of twelve inches (12") in diameter must be retained to the maximum practical extent.
- o. The site is ½ acre or larger, landscaped areas must be irrigated as necessary to maintain required plant materials in good and healthy condition. Irrigation plans must be submitted with development plans and must contain all construction details;
- p. The location, number, height, diameter and species of any materials to be planted and maintained, as well as the location and number of any existing trees to be retained, trees, shrubs, and landscaped materials shall meet the standards of TMC§1108.0400 – *Landscape Material Standards*. **Not acceptable, a revised landscaping plan shall be submitted.**

Plan Commission (cont'd)

- q. The location type and direction of any proposed lighting. The lighting is subject to the approval of the Planning Director. (Lights are to be directed away from adjacent residential properties); and
 - r. The location, height and materials for any fencing to be installed and maintained shall be noted on fencing plan.
24. A Bond of Performance or suitable assurance acceptable to the Division of Inspection valid for a period of two (2) years shall be posted with the Commissioner of Inspection providing for the installation of required landscaping within one (1) year. **Landscaping shall be installed and maintained indefinitely.**
25. The Special Use Permit may be reviewed for compliance with the conditions of approval, negative secondary effects, and adherence to all requirements of the Toledo Municipal Code. If outstanding issues are found and not addressed the Special Use Permit may be considered for revocation.
26. Approval of the Special Use Permit will lapse after one (1) year if the criteria listed in TMC 1111.0707 have not been met.
27. Minor adjustments to the Site Plan that do not violate the above conditions, or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.
28. No permits shall be issued until arrangements satisfactory to the Director of the City of Toledo Plan Commission have been made for compliance with the conditions as set forth above.

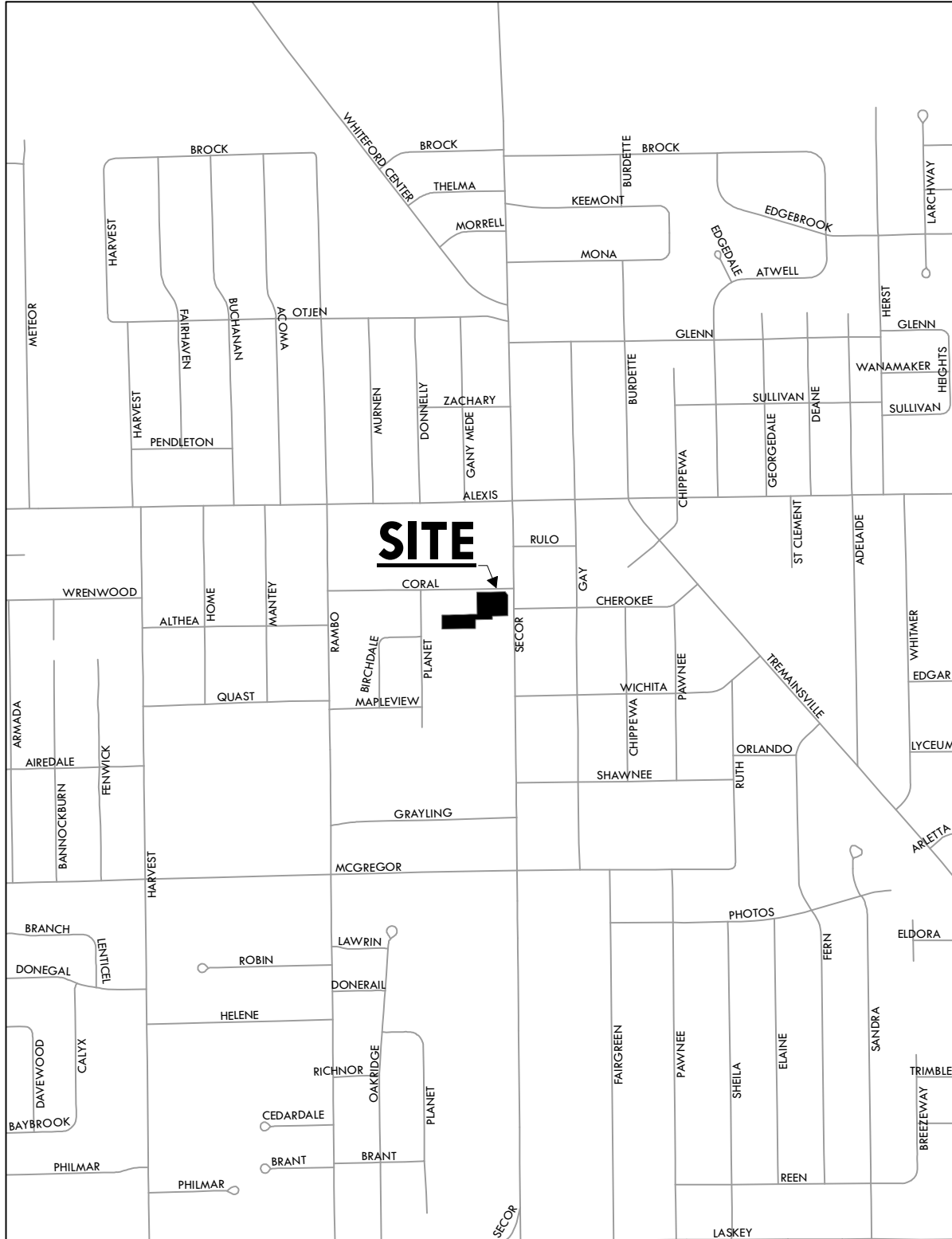
SPECIAL USE PERMIT
 TOLEDO CITY PLAN COMMISSION
 REF: SUP24-0005
 DATE: January 16, 2025
 TIME: 2:00 P.M.

TOLEDO CITY COUNCIL
 ZONING AND PLANNING COMMITTEE
 DATE: February 19, 2025
 TIME: 4:00 P.M.

AV
 Three (3) sketches follow

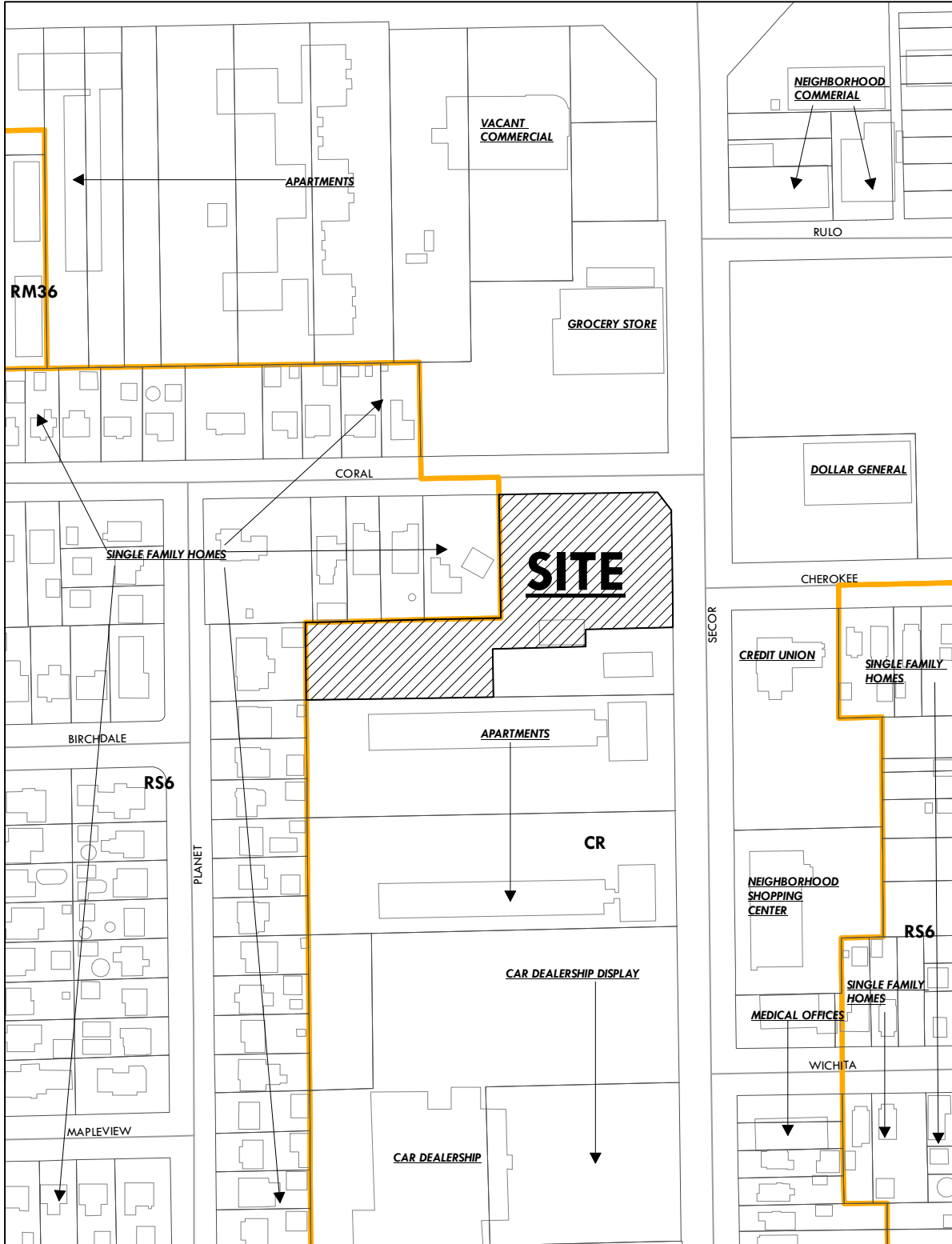
GENERAL LOCATION

SUP24-0005
ID 76



ZONING & LAND USE

SUP24-0005
ID 76



GENERAL INFORMATION

Subject

- Request - Special Use Permit for a Sweepstakes Terminal Café
- Location - 1122 N. Byrne Road
- Applicant - Stephen Paliku
5248 SW 19th Avenue
Cape Coral, FL 33914
- Owner - Sanyoura Management LTD
1122 N Byrne Road Unit 12
Toledo, OH 43607
- Architect - Anthony J. Malik, AIA
Architecture by Design
5622 Mayberry Square
Sylvania, OH 43560

Site Description

- Zoning - Regional Commercial / CR
- Area - ± 2.0 acres
- Frontage - ± 192.8' along N Byrne Road
- Existing Use - Vacant Tenant Space
- Proposed Use - Sweepstakes Terminal Cafe

Area Description

- North - Laundromat & Vacant Land / CR
- East - Single-Dwelling Residential / RS6
- South - Single-Dwelling Residential / RS6
- West - Student Housing, Dollar Store, Restaurants / RM36 & CR

Parcel History

- Z16-C133 - Zone change from R-1 to C-2 at 1020 N. Byrne Road.
(PC approved 12/1/60)
- Z16-C144 - Zone change from R-1 to C-2 at 1114 N. Byrne Road.
(PC approved 8/3/61)
- M-12-62 - Interim zoning for area bounded by Nebraska, Dorr,
Brentwood, and City Line (PC approved 5/3/62)

GENERAL INFORMATION (cont'd)Parcel History (cont'd)

D-8-82	-	Proposed drive-thru at 1114 N Byrne Road (Administratively approved 8/23/82).
SUP-12007-21	-	Special Use Permit for a Sweepstakes Terminal Café at 1122 N Byrne Road (PC approved 3/10/22; Ord. 267-22 failed 5/24/22)

Applicable Plans and Regulations

- Toledo Municipal Code Part Eleven: Planning and Zoning
- Forward Toledo Comprehensive Land Use Plan

STAFF ANALYSIS

The applicant is requesting a Special Use Permit for a Sweepstakes Terminal Café located at 1122 N Byrne Road. Sweepstakes Terminal Cafés are permitted in CR Regional Commercial districts when a Special Use Permit is obtained. The ±2.0-acre site is comprised of two (2) parcels containing a five-unit strip mall. Surrounding land uses include student housing, a dollar store and restaurants to the west, a laundromat and vacant lots to the north, and single-dwelling residential to the east and south of the subject site.

Sweepstakes Terminal Cafés

Per TMC§1104.2501 Sweepstake Terminal Cafés may not be located within a 1,000-foot radius of a church, school, public park, public library, licensed child day care center, or other use established specifically for the activities of minors. They may also not be located within a 2,000-foot radius of another Sweepstake Terminal Café. The proposed location is compliant with these spacing requirements.

Parking and Circulation

TMC 1107.0300 *Off-Street Parking Schedule "A"* requires a minimum of one (1) parking space per 300 square feet of business and one (1) bike rack per 10 parking spaces. The site plan indicates that the tenant space is 2,700 square feet requiring nine (9) parking spaces. The site plan indicates seventeen (17) parking spaces; however, some spaces appear to be smaller than the minimum 9'x18' dimensional standards required by TMC§1107.1911. The drive aisle shown parallel to the frontage greenbelt also appears to be smaller than the minimum twenty-five-foot (25') dimension. The Division of Traffic Management has requested a revised site plan showing all parking spaces and maneuvering aisles meeting these minimum dimensional requirements. This is included as a condition of approval. Additionally, the two (2) required bicycle parking spaces have been provided on the site plan.

Landscaping and Screening

The reuse of an existing site is not required to comply fully with current landscape standards; however, due to the residential nature of parcels directly to the south, a Type A landsc-

STAFF ANALYSIS (cont'd)

Landscaping and Screening (cont'd)

-ape buffer shall be required along the ±125 feet of the southern property line between N Byrne Road and the existing fence. A Type A landscape buffer is a ten-foot (10') wide buffer including four (4) canopy trees and fifteen (15) shrubs for every one-hundred feet (100') of distance when a six-foot (6') solid fence or wall is installed within the buffer. At ±125 feet this Type A buffer would require five (5) canopy trees and eighteen (18) shrubs alongside a solid fence or wall. This has been included as a condition of approval.

A Frontage Greenbelt is proposed in the front of the property by the existing tenant sign in line with a requirement from this site's previous Special Use Permit application (SUP-12007-21). Three (3) trees and a solid evergreen hedge are shown on the site plan. A condition has been added to this approval ensuring the installation of this frontage greenbelt.

Signs

Pursuant to TMC§1113.0702, if the premises on which a sign is located undergoes Plan Commission review, including this Special Use Permit, any nonconforming signage on the premises shall be brought fully into compliance with this Sign Code as a part of the review and approval process. The existing tenant sign shall be removed and replaced with a sign conforming to TMC Chapter 1113 *Signs* – otherwise known as the Sign Code. This has been included as a condition of approval.

Pursuant to TMC§1113.0308, window signage and similar obstructions may occupy no more than 25% of the total cumulative window area along a building façade. All tenants in a multi-tenant space such as the existing strip plaza must ensure window signage occupies no more than 25% of their total cumulative window area along a façade. One (1) of the tenants in the existing strip plaza has exceeded this restriction and will be required to come into compliance with TMC§1113.0308 as a condition of approval.

Forward Toledo Comprehensive Land Use Plan

The Forward Toledo Plan targets this site for Neighborhood Mixed-Use. The Neighborhood Mixed-Use land use designation is intended to preserve and promote pedestrian-oriented commercial and mixed-use areas. The existing strip plaza is not pedestrian oriented; however, this project will include the installation of at least eight (8) trees and the reduction of impervious surfaces. These improvements will improve the area's tree canopy and reduce the site's urban heat island effect. Staff recommends approval of this Special Use Permit because the project conforms to the Forward Toledo Plan and meets all applicable zoning code requirements.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend approval of SUP24-00002, a Special Use Permit for a Sweepstakes Terminal Café located at 1122 N Byrne Road, to the Toledo City Council, for the following **two (2) reasons**:

STAFF RECOMMENDATION (cont'd)

1. The use complies with all applicable provisions of the Zoning Code (**TMC 1111.0706(A)**); and
2. The use is compatible with adjacent uses in terms of scale, site design, and operating characteristics per (**TMC 1111.0706(C)**).

The staff further recommends that the Toledo City Plan Commission recommend approval of SUP24-00002, a Special Use Permit for a Sweepstakes Terminal Café located at 1122 N Byrne Road, to the Toledo City Council, subject to the following **twenty-three (23)** conditions:

The following conditions are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

Engineering Services

1. No comments/objection to proposed use of existing building and parking reconfiguration.
2. The site plan shows a larger site within which the business is proposed. However, the stormwater review of the site plan did not extend beyond the immediate location of the proposed business.

Sewer and Drainage Services

3. S&DS requires that all private sewer lines that are not being removed or properly abandoned (both storm & sanitary) be cleaned and inspected.
4. S&DS requires that the private sanitary lines (after they have been cleaned) that are not being removed or properly abandoned be televised from the building (or private cleanout) to where they connect to the public sewer system if this has not been done in the past (2) two years. An electronic copy (DVD/memory stick) shall be provided to S&DS demonstrating the lines cleaning and integrity.

Division of Environmental Services

5. Applicant shall maintain compliance with the City of Toledo's Storm Water regulations as specified in the Toledo Municipal Code. Special attention must be paid to all potential storm water impacts from the modification of the site, including but not limited to long-term operation and maintenance of existing structural and non-structural Best Management Practices.
6. Applicant shall maintain compliance with Ohio EPA's General Storm Water NPDES permit programs.
7. Applicant is strongly encouraged to install permanent inlet filters with oil absorbent pillow in parking lot catch basins to treat stormwater.

STAFF RECOMMENDATION (cont'd)

Division of Environmental Services (cont'd)

8. Applicant is strongly encouraged to include multiple green infra-structure measures to minimize runoff and increase infiltration, and to minimize the amount of new and/or additional impervious surface on the site.
9. Applicant is strongly encouraged to plant native, low maintenance and non-invasive trees, shrubs and perennials. Information is at <https://ohiodnr.gov/wps/portal/gov/odnr/discover-and-learn/plants-trees/invasive-plants>; a list of invasive plants and alternative species can be downloaded from http://ohiodnr.gov/portals/0/pdfs/invasives/Alternatives_to_Ohio_Invasive_Plant_Species.pdf
10. Applicant shall maintain compliance with the City of Toledo and the State of Ohio's Air Quality Regulations applicable in the Toledo Municipal Code and the Ohio Administrative Code including, but not limited to the Asbestos and the Anti-Noise Laws.

Bureau of Fire Prevention

No comments or concerns.

Division of Transportation

11. All parking spots must be a minimum of 9'x18' per TMC§1107.1911.
12. All two-way drive aisles are required to be a minimum of 25' wide per TMC§1107.1911.
13. If one does not already exist, a cross access agreement is required with adjacent property owners.

Plan Commission

14. A revised site plan shall be submitted to the Plan Director and Division of Transportation depicting all parking spaces and drive aisles compliant with the dimensional requirements of TMC§1107.1911.
15. Two (2) bicycle parking spaces are required per TMC§1107.0300. **Acceptable as depicted on site plan submitted.**
16. Off-street parking and loading spaces, parking lots, maneuvering areas, aisles and driveways must be surfaced with concrete, bituminous asphalt, or other dust-free material other than gravel or loose fill, and be graded to drain all surface water towards the interior of the parking lot.

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

17. Whenever a parking lot extends to a property line, sidewalk, planting strip, or building, a wheel stop device consisting of a concrete stop, a permanent concrete curb, an expanded sidewalk or other suitable restraint as approved by the Planning Director must be installed to prevent any part of a parked motor vehicle from extending beyond the property line, overhanging a pedestrian walkway, or sidewalk, or damaging any structure or landscaping (TMC§1107.1907(A)). **Not acceptable as indicated on site plan.**
18. A detailed site, lighting, fencing and landscaping plan (separate from building & site plans) shall be submitted to the Plan Director for review and approval. Such plan shall include:
 - a. A fifteen-foot (15') frontage greenbelt landscaping buffer is required along N Byrne Road. At least one (1) tree must be provided for every thirty feet (30') of lot frontage. The frontage greenbelt shall also include a solid evergreen hedge to screen parking in the front of the property and prevent headlights from being seen from the right-of-way. **Acceptable as depicted on site plan submitted.**
 - b. A Type A landscape buffer is required along the ±125 feet of the southern property line between N Byrne Road and the existing fence. With a solid six-foot (6') fence or wall, five (5) canopy trees and eighteen (18) shrubs are required. **Not acceptable as depicted. A revised site/landscaping plan shall be submitted to the Plan Director depicting a Type A landscape buffer.**
 - c. Landscape areas within the parking area must be peninsular or island types and must be constructed with 6-inch by 18-inch concrete curbing, cast-in-place, extruded, or by some other process approved by the Planning Director;
 - d. Topsoil must be back filled to provide positive drainage of the landscape area.
 - e. Landscaped areas may not contain bare soil, aggregated stone or decorative rock. Any ground area must be covered with hardwood mulch, grass or other vegetative ground coverage.
 - f. The location, number, height, diameter and species of any materials to be planted and maintained shall be shown, as well as the location and number of any existing trees to be retained. All landscape materials shall meet the standards included in TMC 1108.0400 *Landscape Materials Standards*. **Calculations shall also be provided indicating compliance with all required landscaping requirements.**

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

- g. Landscaped areas must be irrigated as necessary to maintain required plant materials in good and healthy condition. **A water outlet (hose bibb) may be provided within on-hundred feet (100') of the required plant material in lieu of underground irrigation.**
 - h. All landscape material must be properly maintained. No approved plant material shall be removed for any reason without being replaced with like kind, or without submitting a revised landscape plan to the Planning Director for review or approval.
 - i. The location, height and materials for any fencing to be installed and maintained.
 - j. The location of any proposed lighting (lights are to be directed away from adjacent residential properties).
19. Pursuant to TMC§1113.0700 *Legal nonconforming signs*, if the premises on which a legally nonconforming sign is located undergoes a Plan Commission review, including this Special Use Permit, any nonconforming signage on the premises shall be brought into full compliance with the Sign Code as a part of the review and approval process. A sign plan shall be submitted to the Plan Director for review and approval. Such plan shall depict the following:
- a. The existing nonconforming ground sign on Byrne Road shall be removed and replaced with a sign conforming to the provisions of TMC§1113.0400 *Ground Signs*.
 - b. All existing window signs on the building shall be brought into conformance with TMC§1113.0308 *Window Sign*. Window signage and similar obstructions may occupy up to 25% of the total cumulative window area along a building façade. Tenants in a multi-tenant space shall ensure window signage occupies no more than 25% of their total cumulative window area along a façade.
 - c. The collective total area of all building signs (window signs included) for each tenant shall be calculated and shown to not exceed a maximum total area of two (2) square feet per one (1) linear foot of building wall frontage on exterior walls of the tenant space which contain a primary customer entrance; and
 - d. Applicant shall obtain appropriate permits for any proposed signage.

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

20. The Special Use Permit may be reviewed for compliance with the conditions of approval, negative secondary effects, and adherence to all requirements of the Toledo Municipal Zoning Code. If outstanding issues are found and not addressed the Special Use Permit may be considered for revocation.
21. Approval of the Special Use Permit will lapse after one (1) year if the criteria listed in TMC§1111.0707 have not been met.
22. Minor adjustments to the site plan that do not violate the above conditions, or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission. Major adjustments will require an amendment to the Special Use Permit.
23. No permits shall be issued until arrangements satisfactory to the Director of the Toledo City Plan Commission have been made for compliance with the conditions as set forth above.

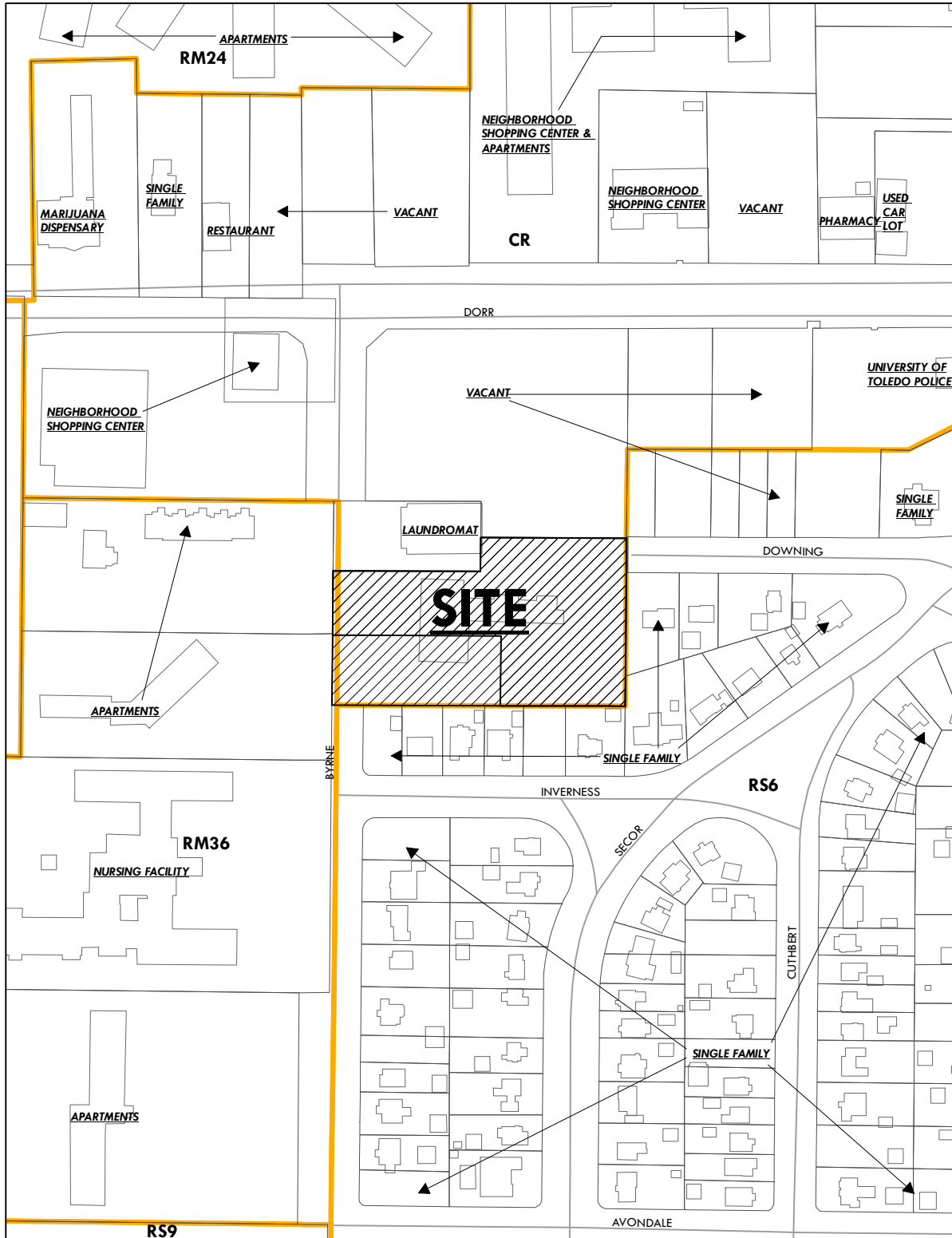
SPECIAL USE PERMIT
TOLEDO PLAN COMMISSION
REF: SUP24-00002
DATE: January 16, 2025
TIME: 2:00 P.M.

TOLEDO CITY COUNCIL
ZONING AND PLANNING COMMITTEE
DATE: February 19, 2025
TIME: 4:00 P.M.

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Three (3) Sketches Follow

ZONING & LAND USE

SUP24-00002
ID 52



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GENERAL INFORMATION

Subject

- Request - Zone Change from CO Office Commercial & CR Regional Commercial to CR Regional Commercial
- Location - 0 Executive Parkway (Eastern ±147.19 feet of Parcel #22-99007)
- Applicant / Owner - Jon Roumaya
3340 Secor Road
Toledo, OH 43606
- Civil Engineer - Lewandowski Engineers, A Verdantas Company
219 S. Erie Street
Toledo, OH 43604

Site Description

- Zoning - CO Office Commercial & CR Regional Commercial
- Area - ± 1.39 acres
- Frontage - ± 147.19' along Executive Parkway
- Existing Use - Vacant (Former Church)
- Proposed Use - Regional Commercial Use

Area Description

- North - Apartments, Single-Dwelling Houses / RM36, RS9
- South - Donation Center, Hotel, Shopping Plaza / CO, CR
- East - Fast Food, Jeweler, Smoke Shop / CR
- West - Future Hotel, Senior Apartments, Offices / CO, RM36

Parcel History

- Z-290-79 - Zone Change from R-4 to C-2 (Subject to Commercial Plat, PC approved 1-24-80, Ord. 91-80, 2/12/80)
- Z-7007-12 - Zone Change from RM-36 to CO (Withdrawn, submitted commercial plat for Z-290-79)
- S-16-12 - Final Plat of Executive Parkway Business Park Plat 1 (PC approved 10/11/12, Recorded 2/16/13)

GENERAL INFORMATION (cont'd)Parcel History (cont'd)

- | | | |
|-------------|---|--|
| SUP-5008-13 | - | Special Use Permit for a 44-bed Memory Care Facility (PC approved 7/11/13, Ord. 403-13 8/20/13) |
| S-12-13 | - | Replat of Executive Parkway Business Park Plat 1 (PC approved 6/13/13) |
| Z-5002-17 | - | Zone Change from CO to CR at 3535 Executive Parkway (Withdrawn 9/14/17) |
| S-20-22 | - | Final Plat of the Eezy-Keezy Lemon Squeezy Subdivision (PC approved 2/9/23) |
| Z-4011-22 | - | Zone Change from CO to CR at 0 Executive Parkway (PC approved 7/19/22, Ord. 377-22) |
| SPR-23-22 | - | Major Site Plan Review for a new restaurant at 0 Executive Parkway – Parcel 22-99006 (PC approved 6/9/22) |
| T-26-23 | - | Original parcel 22-9906 to be split and combined with parcel 22-99007 (Administratively approved 6/6/23) |
| Z-7006-24 | - | Zone Change from CO & CR to CR at 0 Executive Parkway – Parcel 22-99007 (<i>Withdrawn 9/11/24</i>) |
| SPR-42-24 | - | Major Site Plan Review for a New Hotel at 0 Executive Parkway – Parcel 22-89174 & 22-99007 (PC Approved 10/10/24) |
| Z-7005-24 | - | Zone Change from RM36 to CO at 0 Executive Parkway – Parcel 22-89174 (PC Approved 10/10/24, Ord. 576-24, 11/20/24) |
| T-80-24 | - | Western ±58.28 feet of parcel 22-99007 to be split and combined with parcel 22-89174 (Administratively approved 12/17/24, not recorded at time of publication) |

Applicable Plans & Regulations

- Toledo Municipal Code (TMC), Part Eleven: Planning and Zoning Code
- Forward Toledo Comprehensive Land Use Plan

STAFF ANALYSIS

The applicant is requesting a Zone Change from CO Office Commercial & CR Regional Commercial to CR Regional Commercial for 0 Executive Parkway (Eastern ±147.19 feet of Parcel #22-99007). The ±1.39-acre site currently contains a vacant parking lot. To the north are apartments and single dwelling homes, to the south is a donation center, a hotel, and a shopping plaza, to the east are fast-food restaurants, a jeweler, and a smoke shop, and to the west are senior apartments and offices.

The applicant intends to split off the western ±58.28 feet of this parcel and combine it with the adjacent parcel to create a hotel development site (approved by SPR-42-24). Staff approved this lot split on 12/17/24; however, the lot split has yet to be finalized at time of publication. This split portion of the parcel is not included in the applicant's requested zone change.

The applicant is requesting a zone change to permit a potential future development on a remainder parcel between the approved hotel site and the existing Culver's fast-food restaurant. The site's current CO zoning classification is generally intended to function as a low to medium-intensity office district and permits only the least intensive non-office commercial activities such as hotels and hair salons. General retail and standalone restaurants are not permitted in CO districts. General retail and standalone restaurants are permitted in CR districts.

Executive Parkway was platted in 1971 with the intention of serving office commercial land uses along its north-south portion extending from Central Avenue. Staff at the time recommended approval of the plat's companion zone change request to what is now considered CO Office Commercial with the following statement:

Approve the resolutions requesting [CO] zoning since it would provide a reasonable transition between the commercially zoned and developed shopping center to the east and the residentially zoned and developed area to the west...

– TLC Plan Commissions Staff Report, September 3, 1970, Item 6a

Parcels along the east-west portion of Executive Parkway – extending from Secor Road – were not part of the developer's 1971 plan and remained zoned as they were since the area's 1963 annexation: an RM36-equivalent to the north and a CR-equivalent to the south. As time went on there were requests to extend Executive Parkway's CO Office Commercial zoning district east towards Secor Road. In one such instance, the then-owner of the subject property requested a rezone from an RM36-equivalent district to what is now considered CO. Staff at the time recommended approval of the zone change, stating the following:

And while the [CO] development of the parcel can be viewed as an appropriate transition from the [CR] to the south, and the [RM36] to the north, some protection for the apartment dwellers from the commercial development, should also be required.

- TLC Plan Commissions Staff Report, January 24, 1980, Item 10

In both instances staff supported the development of CO Office Commercial land uses along Executive Parkway for the purpose of serving as a transition between intensive commercial land uses along Secor Road and residential areas to the north and west. Today, Executive Parkway

STAFF ANALYSIS (cont'd)

is a known office commercial corridor whose importance as a land use buffer is highlighted in the recently-passed Forward Toledo Comprehensive Land Use Plan (Pg. 174). Allowing an encroachment of CR Regional Commercial zoning into this corridor would set a precedent resulting in the remaining CO parcels becoming vulnerable to more intense commercial uses. The area's development pressure would begin to degrade the Executive Parkway office corridor, resulting in incompatibility and encroachment on adjacent residential land uses.

The purpose of this rezone request is to prospectively rezone the site to allow future CR Regional Commercial development. Staff understands the applicant's desire to develop this site in line with other recent developments along Secor Road; however, staff does not support the request based upon the concerns stated above. Staff would instead support rezoning this site to CN Neighborhood Commercial. The CN zoning district permits many of the same commercial land uses which may want to locate here, minus the most intensive auto-oriented uses such as drive-thru fast-food restaurants, auto repair shops, and car washes. For example, a sit-down restaurant or general retail store would be permitted on the site should it be rezoned to CN.

Forward Toledo Comprehensive Land Use Plan

The Forward Toledo Comprehensive Land Use Plan Future Land Use Map targets this site for General Commercial land uses. Designations in the plan have three components which must be evaluated for compatibility: physical design, land uses, and geographic characteristics. The General Commercial land use designation provides space for auto-oriented and large-scale commercial operations which may also cater to regional demand. Commercial structures nearest to residential or medium- and high-density land uses should prioritize pedestrian features over auto-oriented development. The Forward Toledo Plan also emphasizes restraint when considering rezone requests to CR due to an imbalance of citywide vacant/underutilized commercial space for basic goods and services, the wide range of potential commercial uses, and the decreasing need for brick-and-mortar space. CN zoning would allow development of the site while restricting auto-oriented commercial uses and would be more in conformance with Forward Toledo.

Staff recommends disapproval of the Zone Change from CO Office Commercial & CR Regional Commercial to CR Regional Commercial at 0 Executive Parkway because the proposed zone change is not compatible with existing land uses within the general vicinity of the subject property. Staff instead recommends approval of a Zone Change to CN Neighborhood Commercial as the site is physically suitable for the allowed uses and the district is compatible with land uses within the general vicinity.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend disapproval of Z24-001, a Zone Change from CO Office Commercial & CR Regional Commercial to CR Regional Commercial at 0 Executive Parkway, to Toledo City Council for the following (2) reasons:

1. The proposed CR Regional Commercial zoning district is not compatible with existing land uses within the general vicinity of the subject property (**TMC§1111.0606(B)**); and

STAFF RECOMMENDATION (cont'd)

2. Approval of the proposed CR Regional Commercial zoning district sets precedent for further encroachment into the Executive Parkway Office Commercial district without limitations on the intensity of uses adjacent to residential districts.

Although staff recommends that the Toledo City Plan Commission recommend disapproval of the request for a Zone Change to CR Regional Commercial, staff would recommend the Toledo City Plan Commission recommend approval of a request for a Zone Change from CO Office Commercial & CR Regional Commercial to CN Neighborhood Commercial at 0 Executive Parkway, to Toledo City Council for the following three (3) reasons:

1. The CN Neighborhood Commercial zoning is consistent with the Comprehensive Plan (**TMC§1111.0606(A)**); and
2. The CN Neighborhood Commercial zoning is compatible with the existing land uses within the general vicinity of the subject property (**TMC§1111.0606(B)**); and
3. The subject site is physically suitable for the uses permitted under the CN Neighborhood Commercial zoning district (**TMC§1111.0606(D)**).

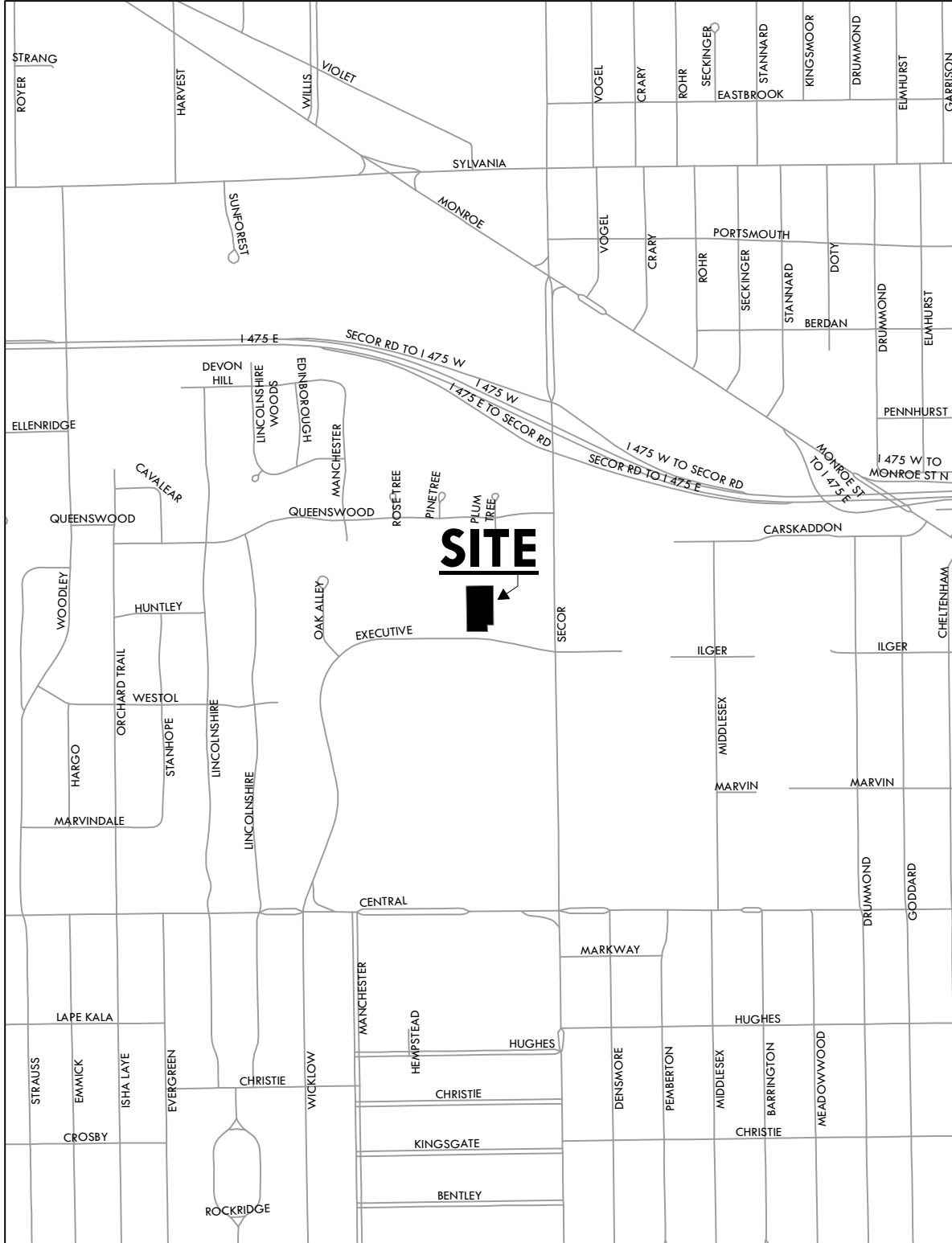
ZONE CHANGE
TOLEDO PLAN COMMISSION
REF: Z24-001
DATE: January 16, 2025
TIME: 2:00 P.M.

TOLEDO CITY COUNCIL
ZONING AND PLANNING COMMITTEE
DATE: February 19, 2025
TIME: 4:00 P.M.

AS
Two (2) sketches follow

GENERAL LOCATION

Z24-0001
ID 78



ZONING & LAND USE

Z24-0001
ID 78



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GENERAL INFORMATION

Subject

- Request - Study of Car Washes and Text Amendment to TMC 1104.0800 adding locational criteria.
- Applicant - Toledo City Council
One Government Center, Suite 2100
Toledo, OH 43604
- Applicant - Toledo City Plan Commission
One Government Center, Suite 1620
Toledo, OH 43604

STAFF ANALYSIS

On July 17, 2024 City Council passed a resolution requesting the Plan Commission initiate a study to research the history and future of the establishment of car washes in the City of Toledo, to examine the secondary effects that they have on city residents and city neighborhoods, and evaluate the best practices for their regulation from other cities. Plan Commission Staff has completed this study and proposes a text amendment to the Toledo Municipal Code based upon its findings.

New Car Washes

Staff first sought to prove, or disprove, the public perception that there has been a recent increase in the number of new commercial car washes. A list of all currently-constructed car washes in Toledo was compiled using data from the Division of Building Inspection, the Lucas County Auditor website (AREIS), and Google. An open date was determined for each first by Certificate of Occupancy – if available – then by the build date listed on AREIS. Historic editions of Toledo’s Polk Directories and some historic sign permits were also used to refine these dates to be more accurate. This data was used to create Exhibit C – a map of all currently-constructed car washes shown by their open date. Of those thirty-eight (38) currently-constructed car washes, eight (8) were opened in the last six (6) years. If aggregated by decade, six (6) car washes have opened so far in the 2020s with three (3) more planned or under construction. Should those three (3) planned / under construction car washes open, the 2020s will tie with the 1970s as having the most car washes open per decade. Considering this potentiality is occurring halfway through the decade, the 2020s have the potential to surpass the 1970s in number of car washes open per decade. All this said, the perception that there are more car washes opening in Toledo now than any other time in recent memory is true. There has been a pronounced increase in the number of new commercial car washes constructed since 2018.

STAFF ANALYSIS (cont'd)New Car Washes (cont'd)

The next logical question was this: Why has Toledo seen a recent pronounced increase in new commercial car washes? The 2023 International Carwash Association (ICA) U.S. Consumer Pulse Study cites that home car washing has declined by sixty percent (60%) since 1996. The stated reason for this decrease is increasing demand for convenience, which commercial car washes have been providing. Recent adoption of the subscription-based payment model has only added to their convenience, further boosting their popularity. This increase in demand for convenience-oriented car washes has greatly contributed to their expansion. On the corporate side, a decrease in operating costs caused by subscription-based payments and increasing carwash technology (lowering water/sewer/electric bills) has made investment firms more eager to invest in safely-profitable car wash companies. With an influx of investors, national-oriented car wash companies have been expanding quickly into new cities to capitalize on the aforementioned convenience-oriented demand and to capture said demand away from other companies doing the same. Toledo has recently been a focused market for a few of these companies, the names of which can likely be recited by many Toledoans. Whether by purchasing existing car washes or by constructing new, these companies have been putting their brand in most of the city's auto-oriented commercial corridors, each attempting to become Toledo's car wash of choice. To answer the above question: Toledo is seeing an increased number of new commercial car washes because there is a higher demand for convenience-oriented car washes and because national-oriented car wash companies currently have a lot of investors which they are leveraging to capitalize on said demand.

Negative Secondary Effects

The main negative secondary effects associated with car washes are noise and water pollution. Those types of pollution are locally regulated by the Division of Environmental Services, whose input was solicited. The Division of Environmental Services reports that they have received no formal noise complaints from any identified car washes in the last several years. While no formal complaints have been levied, Staff has heard many informal noise complaints about car wash dryers and vacuums. Two potential solutions were identified: spacing requirements to ensure car washes / dryers / vacuums are away from residential uses and limiting the hours of operation.

The issue of water pollution was more complex and multiple different agencies were looped into the conversation including experts at the Toledo Metropolitan Area Council of Governments (TMACOG), the Division of Engineering Services, and the Division of Water Reclamation. The main result of the discussion was the opposite of the misconception: that commercial car washes are a preferred and more environmentally friendly way of washing a car. This is because commercial car washes drain to the sanitary sewer system, meaning the waste water is treated for pollutants prior to entering our waterways. Washing a car at home or letting the rain wash your car will likely send those same contaminants to the storm sewer system, meaning the waste water will enter our waterways untreated.

STAFF ANALYSIS (cont'd)

Negative Secondary Effects (cont'd)

A different issue identified by the above discussion was that of aerosolized spray water containing soaps and other contaminants which may be harmful if breathed in continuously over long periods of time. It was suggested that buffers or spacing requirements would help protect people living or travelling nearby.

Another negative secondary effect associated with car washes is traffic congestion from overflowing car stacking queues. The Division of Traffic Management was consulted and had similar concerns, citing a few existing car washes in the city which are prone to overflowing. TMC§1107.1600 *Vehicle Stacking Areas* requires car washes provide a minimum of ten (10) vehicle stacking spaces measured from the car wash entrance to the right-of-way. Staff and the Division of Traffic Management estimated that many of those prone to overflowing just met the ten (10) stacking space requirement. Identified solutions were to increase the number of required stacking spaces and to change the location from which the stacking spaces were measured.

Other Cities and Proposed Text Amendment

Staff reviewed the zoning and unified development codes of Cleveland, Cincinnati, Dayton, Detroit, and Indianapolis and found varying regulations on car washes. The most prominent issues addressed by these regulations related to mitigating noise pollution and requiring vehicle stacking spaces.

The most common form of noise pollution mitigation found in the above-regulations was spacing / setback requirements specific to car washes and/or vacuum systems. For example, Detroit requires car washing areas be setback at least twenty-five feet (25') from residential zoning districts. Detroit also separately requires vacuum systems be set back a minimum of fifty feet (50') from the same. Cincinnati is less restrictive, requiring a twenty-foot (20') setback from all property lines for all car wash buildings and structures. The most restrictive spacing / setback requirement found is from Indianapolis, which prohibits the car wash use from being located within one-hundred feet (100') of residential or other 'protected' districts. Cleveland also requires a one-hundred-foot (100') spacing buffer from residential districts, but gives exceptions when a sufficient landscape buffer is installed. Staff considers a spacing requirement important as it will help mitigate both noise and aerosolized spray water pollution. Staff recommends amending TMC§1104.0804 to prohibit car washes within one-hundred feet (100') of a residential zoning district or property upon which a residential use is established. This spacing requirement will be measured from the property line boundaries.

As stated previously, TMC§1107.1600 *Vehicle Stacking Areas* requires car washes provide a minimum of ten (10) vehicle stacking spaces measured from the car wash entrance to the right-of-way. This regulation is currently in conformance with Detroit as the most restrictive of those researched. For reference, all others researched required a minimum of five (5) to six (6) stacking spaces. After consulting with the Division of Traffic Management, Staff recommends that the number of required stacking spaces for car washes remain the same. Staff recommends that the

STAFF ANALYSIS (cont'd)

Other Cities and Proposed Text Amendment (cont'd)

section instead be modified to measure the required stacking spaces from the pay station rather than the car wash entrance. This will bring the regulation more in line with other stacking requirements found in the section and reflect where backups are more likely to occur.

Forward Toledo Comprehensive Land Use Plan

One of the goals under the sustain theme is to Reduce Pollution. Toledo benefits from a variety of natural resources in our region. We have abundant access to fresh water and unique ecological biodiversity in the Oak Openings region. These assets, as well as the air we breathe and the parks, lawns and gardens many residents maintain, can be harmed by pollution. Commercial car washes are a double-edged sword when it comes to pollution. On one hand, commercial car washes provide a space to wash dirt and pollutants off vehicles into the sanitary sewer, leading to less polluted waste water entering our waterways. On the other, car washes generate noise and potential aerosolized spray water pollution which can be harmful to the long-term health of nearby residents – not to mention they are a strictly auto-oriented use contributing to additional daily vehicle trips, which in turn contributes to automobile air pollutants. The proposed text amendment will permit car washes while mitigating the impacts of its negative secondary effects – noise and potential aerosolized spray water pollution. The proposed text amendment is compatible with the Forward Toledo Plan.

STAFF RECOMMENDATION

Staff recommends that the Toledo City Plan Commission recommend approval of M-9-24, a text amendment to TMC 1104.0800 adding locational criteria, to Toledo City Council for the following two (2) reasons:

1. The text amendment addresses the concerns of the Toledo City Council in its passage of R-315-24, a moratorium on the review and issuance of any zoning permits, building permits, certificates of occupancy, or other licenses or permits for Car washes, in the City of Toledo; and
2. The text amendment is consistent with the Comprehensive Plan and the stated purpose of the Zoning Code (**TMC§1111.0506(B)**).

ZONING TEXT AMENDMENT
TOLEDO CITY PLAN COMMISSION
REF: M-9-24
DATE: January 16, 2025
TIME: 2:00 P.M.

ZONING AND PLANNING COMMITTEE OF
CITY COUNCIL
DATE: February 19, 2025
TIME: 4:00 P.M.

AS
Four (4) Exhibits follow

Exhibit “A”
Existing

Chapter 1104 | Use Regulations

1104.0800 | Drive-through Facilities

The following standards apply to drive-through facilities.

1104.0801 Hours of Operation

The hours of operation of a drive-through facility may be made limited to 5:30 a.m. to 1 a.m., or other hours consistent with a liquor permit issued by the State of Ohio, as a condition of a development approval. Particular attention will be given to drive-through facilities located adjacent to any residential district, school, place of religious assembly, park or playground.

1104.0802 Location

Suitability of location with respect to land use patterns and traffic. Some uses with drive-through facilities require frontage on a major street, see Sec. 1104.0100 Use Table.

1104.0803 Vehicle Stacking

Minimum off-street stacking spaces in accordance with Sec. 1107.1600

1104.0804 Car Washes without pumps

- A. Car washes without fuel pumps shall be reviewed under this section.
- B. Gasoline and fuel sale facilities with or without car wash facilities shall not be reviewed as a drive-through use under this section so long as they are subject to review under the special use or other special permit process wherein they are specifically designed for review.

Chapter 1107 | Parking, Loading, and Access

1107.1600 | Vehicle Stacking Areas

The vehicle stacking standards of this subsection apply unless otherwise expressly approved by the Division of Transportation.

1107.1601 Minimum Number of Spaces

Off-street stacking spaces must be provided as follows, in consultation with the Commissioner of Transportation:

Activity Type	Minimum Number of Stacking Spaces	Measured to Right-of-Way Line From
Bank teller lane	4	Teller or Window
Automated teller machine	3	Teller
Pharmacies	4	Window
Restaurant drive-through	7	Order Box
Car wash stall, automatic	10	Entrance
Car wash stall, self-service	3	Entrance
Gasoline pump island	1	Pump Island
Other	Determined by Division of Transportation based on Traffic Study	

Exhibit “B”
Modifications

(Additions in blue underline. Deletions in red strikethrough.)

Chapter 1104 | Use Regulations

1104.0800 | Drive-through Facilities

The following standards apply to drive-through facilities.

1104.0801 Hours of Operation

The hours of operation of a drive-through facility may be made limited to 5:30 a.m. to 1 a.m., or other hours consistent with a liquor permit issued by the State of Ohio, as a condition of a development approval. Particular attention will be given to drive-through facilities located adjacent to any residential district, school, place of religious assembly, park or playground.

1104.0802 Location

Suitability of location with respect to land use patterns and traffic. Some uses with drive-through facilities require frontage on a major street, see Sec. 1104.0100 Use Table.

1104.0803 Vehicle Stacking

Minimum off-street stacking spaces in accordance with Sec. 1107.1600

1104.0804 Car Washes ~~without pumps~~

- A. Car washes without fuel pumps shall be reviewed under this section.
- B. Gasoline and fuel sale facilities with or without car wash facilities shall not be reviewed as a drive-through use under this section so long as they are subject to review under the special use or other special permit process wherein they are specifically designed for review.
- C. A car wash shall not be located within 100 feet of a residential zoning district or property upon which a residential use is established.

Chapter 1107 | Parking, Loading, and Access

1107.1600 | Vehicle Stacking Areas

The vehicle stacking standards of this subsection apply unless otherwise expressly approved by the Division of Transportation.

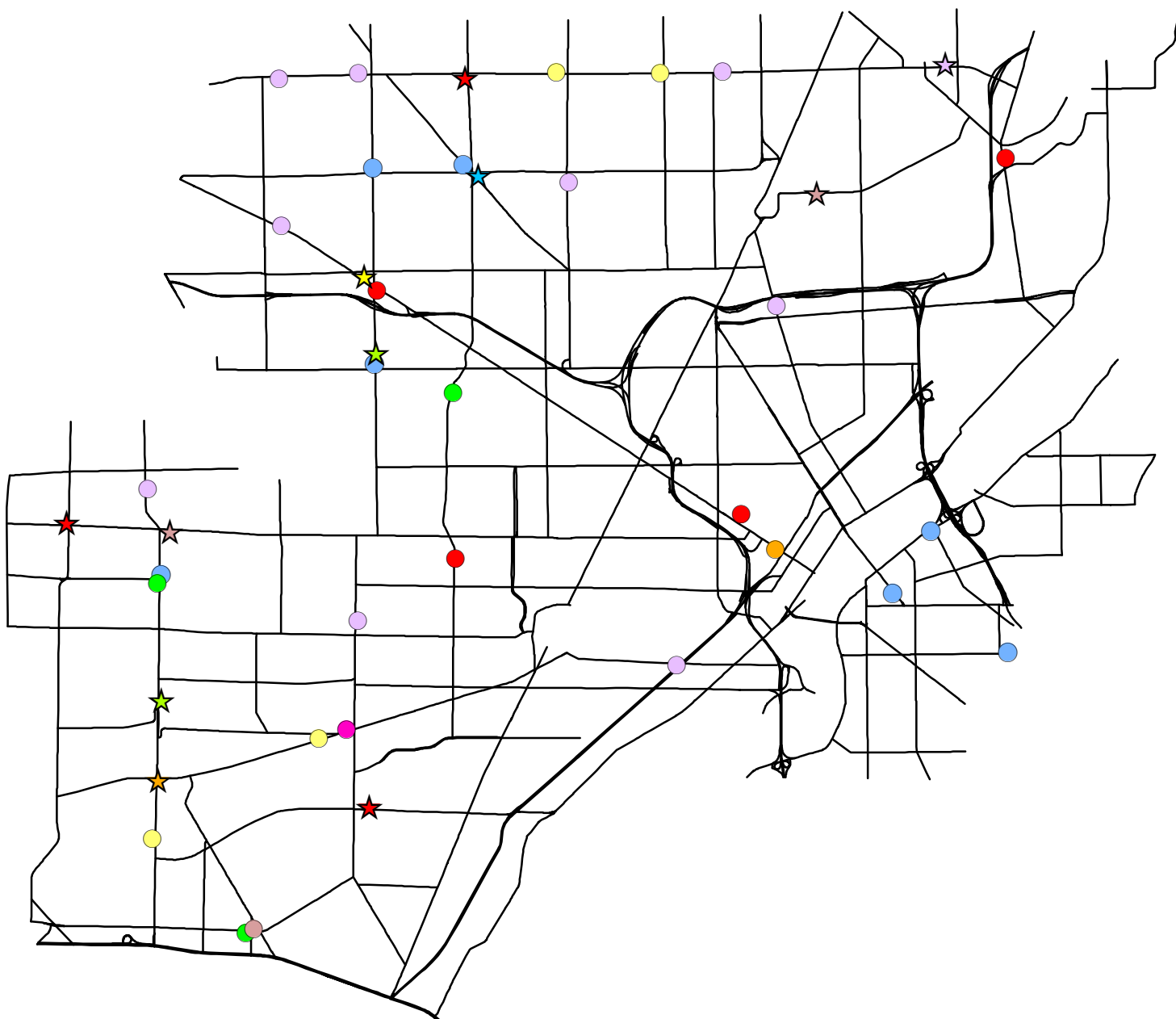
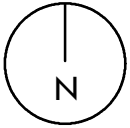
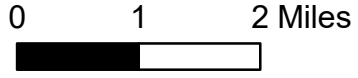
1107.1601 Minimum Number of Spaces

Off-street stacking spaces must be provided as follows, in consultation with the Commissioner of Transportation:

Activity Type	Minimum Number of Stacking Spaces	Measured to Right-of-Way Line From
Bank teller lane	4	Teller or Window
Automated teller machine	3	Teller
Pharmacies	4	Window
Restaurant drive-through	7	Order Box
Car wash stall, automatic	10	Entrance <u>Pay Station</u>
Car wash stall, self-service	3	Entrance
Gasoline pump island	1	Pump Island
Other	Determined by Division of Transportation based on Traffic Study	

Exhibit C

City of Toledo Car Washes



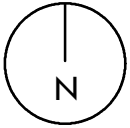
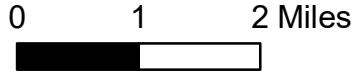
Legend	Count
● pre-1950s	1
● 1950s	1
● 1960s	7
● 1970s	9
● 1980s	4
● 1990s	3
● 2000s	4
● 2013	1
★ 2018	1
☆ 2019	1
★ 2021	1
★ 2023	2
★ 2024	3
☆ Plans Submitted	2
★ Under Construction	1

8-6

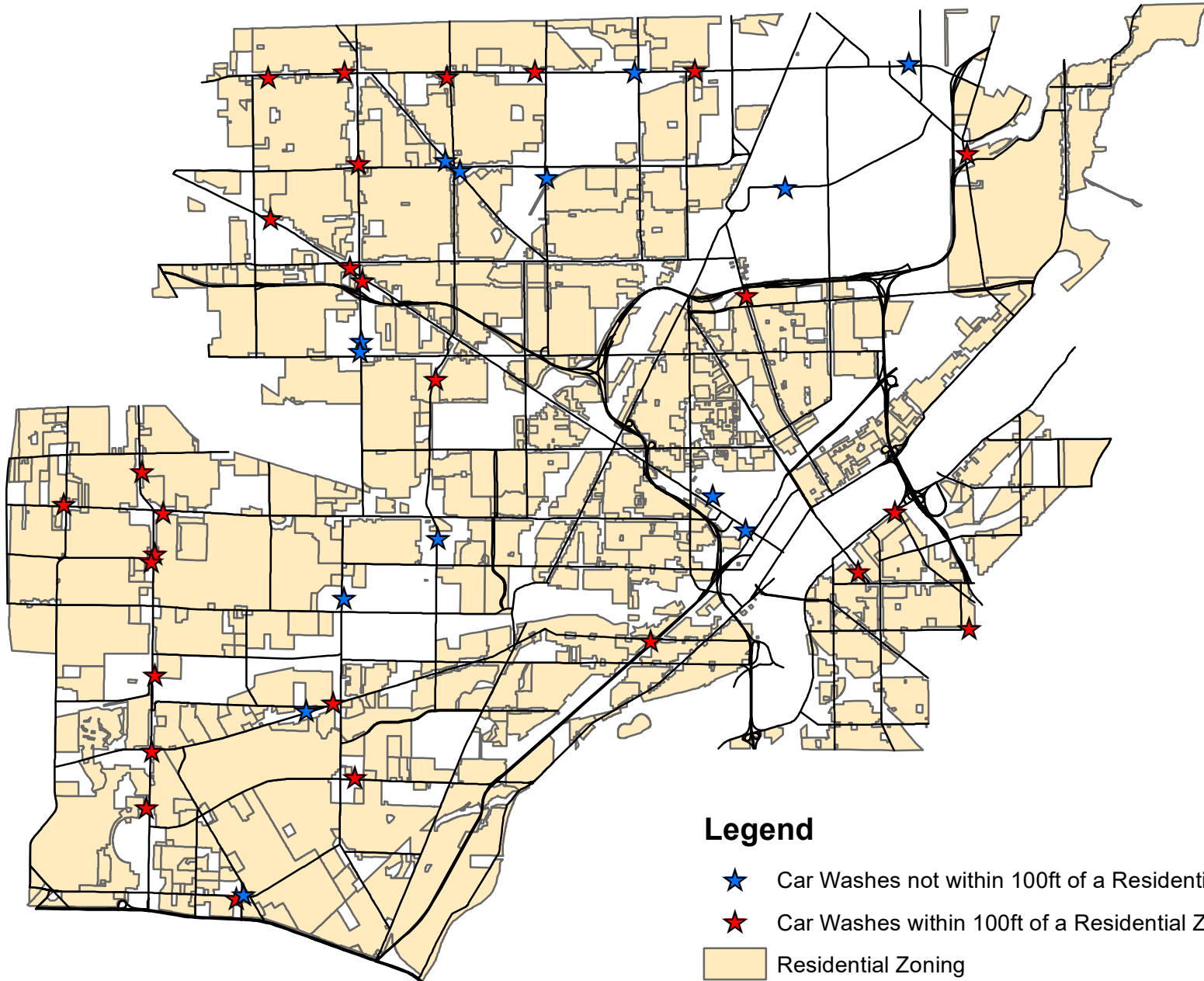
Exhibit D

City of Toledo

Car Washes & Residential Zones



6-6



Legend

- Car Washes not within 100ft of a Residential Zone.....14
- Car Washes within 100ft of a Residential Zone.....27
- Residential Zoning

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GENERAL INFORMATION

Subject

- Request - Study of schools and possible text amendments per Resolution 595-23.
- Applicant - Toledo City Council
One Government Center, Suite 2120
Toledo, OH 43604

STAFF ANALYSIS

The Toledo City Council is requesting a study and possible text amendment to the Zoning standards regulating schools. This request, submitted via Resolution 595-23, is prompted by Council’s desire to offer equality in the educational resources provided to school children, no matter the type of their school, and to ensure this equality extends to the buildings and facilities these children attend and utilize for their education. Staff has thus reviewed the Toledo Municipal Code’s current regulation of schools, as well as regulations regarding schools in other Ohio cities, and offers recommendations for amending the Toledo Municipal Code to promote enhanced safety and wellbeing for Toledo’s students, while still allowing flexibility for a variety of school types that can meet the varying needs of our City’s diverse student population.

The Toledo Municipal Planning and Zoning Code Part Eleven Chapter 1116 *Terminology* defines schools as public or private schools at the primary, elementary, middle, junior high, and high school level that provide state-mandated basic education. The Zoning Code further classifies schools into two categories: elementary and middle schools (which enroll students in any or all grades K through 8) and high schools (which enroll students in any or all of grades 9 through 12). Per TMC§1104 *Use Regulations*, schools are permitted in all Zoning Districts except industrial districts, planned business and industrial parks, and public open space districts.

A Special Use Permit (SUP) is required for all schools in all zoning districts in which they are permitted, except those in the Institutional Campus Zoning District, where schools are permitted by right. Special Use Permits are required for those uses that require heightened development standards to ensure safety, avoid nuisance issues, and promote cohesion with surrounding uses. The current standards regulating schools do not require that they meet any use-specific facility standards other than the parking requirements for schools per TMC§1107.0300 *Off-Street Parking Schedule “A.”* The SUP process allows Staff to assess each individual school’s adherence to all of Toledo Municipal Code.

Previous School Study

Staff conducted a previous study regarding how schools are regulated in 2016 (M-6-16). In this study, the proposed text amendment provided by City Council included the addition of

STAFF ANALYSIS (cont'd)

criteria that would require all schools to meet specific facility standards, such as requiring a gymnasium, outdoor areas for athletic fields or playgrounds (depending on age range), a computer lab, a media lab, and adequate parking. Staff determined at the time of this study that requiring schools to meet additional facility standards through zoning begins to dictate the school's curriculum, which is outside the purview of land use and planning. Staff recommended disapproval of the proposed text amendment on the basis that facility standards for schools are already considered at the State level through the State of Ohio Facilities Construction Commission, and that parking requirements are already regulated by TMC§1107.0300.

Peer City Comparison

In reviewing school zoning regulations for the six largest cities in Ohio, Staff found that Toledo has the one of the most stringent codes regulating school location (see Exhibit "A" for code comparison). While cities like Akron and Cincinnati only require conditional review for schools in Single-family residential districts, Toledo requires schools to go through the Special Use Permit process in every residential district. In addition, some cities including Akron, Cincinnati, and Columbus allow schools in some industrial districts, while Toledo does not permit schools to locate in any industrial district. Of the six cities reviewed, Dayton is the only locality with use-specific regulations for schools. These regulations include requirements for the types of streets schools must be located on, as well as minimum side setbacks and minimal general standards for site design. Staff reviewed these regulations in the drafting of potential use-specific regulations for schools in Toledo.

Current Regulations for School Review

The following code breakdown explores how schools are currently analyzed through the Special Use Permit process, with a focus on identifying gaps that could be strengthened by the proposed text amendment (see Exhibits "B" and "C"). Note that the proposed use-specific standards will also apply to schools in IC-Institutional Campus districts, if adopted, and shall apply to both development review options for schools in this zoning district, as provided in TMC§1111.1201 *Development Review*, which include submitting an Institutional Master Plan in accordance with TMC§1111.0700 or securing Special Use approval.

TMC§1104 Use Regulations

As mentioned, schools do not have any use-specific regulations apart from parking requirements. Staff explored adding language to various code sections to strengthen the review process for schools, concluding that this section is the most logical place to house additions to the code. The proposed text amendment includes a new footnote in the Use Table, directing users to additional standards that will apply to the review of all schools.

TMC§1106 Intensity and Dimensional Standards

This code section ensures that schools are suited to their particular zoning district, dictating appropriate building setbacks, height, and coverage of the site. Staff recommends no changes to

STAFF ANALYSIS (cont'd)

this section, as it reinforces flexibility in location options for schools, while ensuring that schools fit contextually with surrounding uses in their zoning district.

TMC§1107 *Parking, Loading and Access*

Per TMC§1107.0300 *Off-Street Parking Schedule "A,"* schools must provide adequate off-street parking for teachers, staff, and students, including the provision of adequate bicycle parking options. This required off-street parking must be located on the same lot as the principle use, except as otherwise provided by TMC§1107.1407(C) *Eligible Alternatives*, which ensures that proposed Alternative Parking Plans will not adversely affect surrounding neighborhoods, will not adversely affect traffic congestion and circulation, and will have a positive effect on the economic vitality or appearance of the project or on the environment.

Furthermore, during the SUP process, school site plans are assessed using the design standards of TMC§1107.1903 *Layout*, which states that any parking, loading, and maneuvering layout must be safe, adequate, and provide convenient arrangement of pedestrian walkways, bikeways, roads, and driveways. Sidewalks are a requirement per TMC§1107.0300, with the note that additional requirements for internal walkway systems may be required for Institutional Master Plans or Major Site Plan Reviews. Staff proposes adding language specific to schools that will allow Staff strengthened standards to recommend modifications to school site plans, as deemed necessary, including (but not limited to) the addition of crosswalks and school signage to enhance the safe travel of students within and surrounding the school site.

Additionally, while TMC§1107.0800 grants The Division of Transportation the ability to require a Traffic Study for developments over 50,000 square feet, Staff proposes adding code language that states a Traffic Study may be requested for any school, new or undergoing redevelopment, if the parking and circulation plan requires further assessment to ensure safe and efficient circulation of school visitors and attendees.

TMC§1108 *Landscaping and Screening*

This code section offers landscape buffer requirements via TMC§1108.0203 that apply to all school developments that undergo site plan review. The intent of this portion of code is to minimize the impacts of noise, dust and debris, and headlight glare, and to offer transition and visual screening between adjacent uses. In some cases, dependent on the zoning district of the subject site and adjacent parcels, a development may not be required to offer landscape buffering. Staff sees this as a potential gap that reinforces Staff's proposal to add code language that will give reviewers the ability to request additional site modifications—including additional landscape screening—not only for safety reasons, but also to lessen the impact of school developments on adjacent neighbors.

TMC§1109 *Design Standards*

The Institutional design standards listed in TMC§1109.0200 include requirements for helping ensure that developments are built to human scale, provide attractive street fronts, and accommodate both pedestrians and vehicular movement. Said requirements include the standard

STAFF ANALYSIS (cont'd)

that at least one main building entrance shall face and open directly to a five-foot (5') wide walkway to the street sidewalk, providing a logical route for students to navigate school sites. If connecting walkways cross parking aisles or driveways, they are required to be distinguished from driving surfaces in a way that enhances pedestrian safety and comfort. The proposed text amendment strengthens reviewers' ability to request additional site modifications for school site plans if the site design does not adequately meet the spirit and intent of this code section.

TMC§1111 *Development Approval Procedures*

The SUP Review and Decision-Making Criteria listed in TMC§1111.0706 offers several factors which must be considered in deciding recommendations on SUPs. These criteria include consideration of whether the proposed use meets the stated purpose of the Zoning Code, which is to protect the health, safety, and general welfare of the citizens of Toledo. The criteria also include consideration of whether the proposed use is compatible with adjacent uses and if the development will have any adverse effect on the neighborhood or environment.

Where an aspect of a potential school site plan may not be regulated or addressed in any of the above code sections, Staff, as the review-body of the SUP process, has the power per TMC§1111.0112 to impose additional conditions on applications to reduce potential negative impacts of developments as proposed. While this code section allows Staff the ability to alter school development proposals, Staff believes the addition of use-specific code language for schools will increase clarity around the school review process and strengthen reviewers' ability to ensure that schools are planning for the safety of students and school visitors, as well as the wellbeing of surrounding neighbors.

Conclusion and Recommendation

Overall, the proposed text amendment uses language that will allow Staff to request site modifications for school developments, as well as additional review information pertaining to traffic and circulation for schools, *if* the materials provided for review do not adequately plan for and address the safety of students, or if Staff believes the school development will have adverse effects on surrounding uses. The decision to use “may” rather than “shall” in the text amendment is based on the belief that “one size does not fit all” for school developments, and that blanket requirements pertaining to all schools, without consideration of their particular settings and the unique needs of their students, will hinder the provision of adequate facilities that meet the needs of all of Toledo's children. Furthermore, the proposed text amendment supports several goals in the Forward Toledo Comprehensive Land Use Plan, including Quality Design, Building Preservation, and Support Childhood Development.

Staff believes that the proposed use-specific regulations for schools, in combination with the Special Use Permit and Institutional Master Plan processes, will offer a more comprehensive review process for school developments—where reviewers have the ability to request site modifications as necessary—while allowing flexibility and encouragement for a diverse array of educational environments. Staff recommends approval of the text amendment as it is consistent

STAFF ANALYSIS (cont'd)

Conclusion and Recommendation (cont'd)

with the Comprehensive Plan and the stated purpose of the Zoning Code to protect the health, safety and welfare of the citizens of Toledo.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend approval of M-12-23, a study of schools and possible text amendments, to Toledo City Council for the following reason:

1. The proposed text amendment is consistent with the Comprehensive Plan and the stated purpose of the Zoning Code in that it will help ensure the safety and wellbeing of Toledo's student population and those surrounding school sites.

ZONING TEXT AMENDMENT
TOLEDO CITY PLAN COMMISSION
REF: M-12-23
DATE: January 16, 2025
TIME: 2:00 P.M.

ZONING AND PLANNING
COMMITTEE OF CITY COUNCIL
DATE: February 19, 2025
TIME: 4:00 P.M.

MJM

Three (3) Exhibits follow

Exhibit “A”**Peer City Comparison of Zoning Regulations for Schools**

Zoning Regulations	Cities					
	Akron	Cincinnati	Cleveland	Columbus	Dayton	Toledo
Permitted Outright:						
Residential Districts	X (Multi-family districts)	X (Multi-family districts)	X	X		
Commercial Districts	X	X	X	X		
Industrial Districts	X (Biomedical districts)	X (Manufacturing limited districts)	X (Semi-industry districts)			
Other Zoning Districts		X (Riverfront district & Institutional-Residential)	X (Institutional-research districts)	X (Neighborhood Center districts)	X (Campus-Institutional districts)	X (Institutional Campus districts)
SUP/Conditional Review:						
Residential Districts	X (Single-family districts)	X (Single-family districts)			X	X
Commercial Districts					X	X
Industrial Districts					X	
Other Zoning Districts		X (Park districts)				
Use-Specific Regulations:					X	

**Exhibit “B”
Existing Text**

1104.0100 | Use Table

<i>Use Category</i>	<i>RS12</i>	<i>RS9</i>	<i>RS6</i>	<i>RD6</i>	<i>RM (all)</i>	<i>R MH</i>	<i>CN</i>	<i>CO</i>	<i>CM</i>	<i>CS</i>	<i>CR</i>	<i>CD</i>	<i>IL</i>	<i>IG</i>	<i>IP</i>	<i>POS</i>	<i>IC</i>
Schools	S	S	S	S	S	S	S	S	S	S	S	S	-	-	-	-	P

**Exhibit “C”
Modifications**
(Additions in italic highlight.)

1104.0100 | Use Table

<i>Use Category</i>	<i>RS12</i>	<i>RS9</i>	<i>RS6</i>	<i>RD6</i>	<i>RM (all)</i>	<i>R MH</i>	<i>CN</i>	<i>CO</i>	<i>CM</i>	<i>CS</i>	<i>CR</i>	<i>CD</i>	<i>IL</i>	<i>IG</i>	<i>IP</i>	<i>POS</i>	<i>IC</i>
Schools	S [33]	S [33]	S [33]	S [33]	S [33]	S [33]	S [33]	S [33]	S [33]	S [33]	S [33]	S [33]	-	-	-	-	P [33]

[33] Subject to standards of Sec. 1104.2600 | Schools

1104.2600 | Schools

The following standards apply to schools.

1104.2601 | Traffic Study

The Planning Director may request a Traffic Study for any school, new or undergoing redevelopment, that meets the requirements of Sec. 1107.0802 if safety and circulation of the site are not adequately addressed with the provided materials.

1104.2602 | Site Design Modifications

The Planning Director may request additional site modifications for schools, new or undergoing redevelopment, to enhance student and school visitor safety and/or to limit the impact of school developments on surrounding uses. Potential site design modifications include:

- A. Crosswalks
- B. Signage
- C. Lighting
- D. Fencing (perimeter and/or interior)
- E. Landscape buffers
- F. Increased setbacks
- G. Any other modification deemed necessary to enhance safety of school attendees

M-10-24

**Staff Report
not available
at time of printing.**

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STAFF REPORT CONDITIONS OF APPROVAL – AGENCY SOURCE IDENTIFICATION

Recommendations for conditions of approval often originate from agencies that have reviewed plans and proposals under consideration by the Plan Commission. To indicate which agency requested which condition of approval, that agency's name is placed at the end of the condition in parenthesis. Agency names are listed below:

TOLEDO-LUCAS COUNTY
PLAN COMMISSIONS
ONE GOVERNMENT CENTER
SUITE 1620
TOLEDO, OH 43604
419-245-1200

FIRE PREVENTION
c/o BUILDING INSPECTION
ONE GOVERNMENT CENTER
SUITE 1600
TOLEDO, OH 43604
419-245-1220

TOLEDO EDISON COMPANY
ENGINEERING SERVICES
6099 ANGOLA RD.
HOLLAND, OH 43528
419-249-5440

DIVISION OF WATER DISTRIBUTION
401 S. ERIE STREET
TOLEDO, OH 43604
419-936-2826

LUCAS COUNTY SOLID WASTE MGMT
1011 MATZINGER ROAD
TOLEDO, OH 43612
419-213-2230

PUBLIC UTILITES
420 MADISON AVE, SUITE 100
TOLEDO, OH 43604
419-245-1853

DIVISION OF WATER
RECLAMATION
3900 N. SUMMIT STREET
TOLEDO, OH 43604
419-727-2602

DIVISION OF BUILDING INSPECTION
ONE GOVERNMENT CENTER
SUITE 1600
TOLEDO, OH 43604
419-245-1220

LUCAS SOIL AND
CONSERVATION DISTRICT
138 W. DUDLEY, SUITE A
TOLEDO, OH 43611
419-893-1966

DIVISION OF TRANSPORTATION
110 N. WESTWOOD
TOLEDO, OH 43607
419-245-1300

DIVISION OF
ENGINEERING SERVICES
ONE LAKE ERIE CENTER
600 JEFFERSON AVENUE, STE 300
TOLEDO, OH 43604
419-245-1315

LUCAS COUNTY ENGINEER
1049 S. MCCORD ROAD
HOLLAND, OH 43528
419-213-2860

PUBLIC SERVICE DEPARTMENT
110 N. WESTWOOD
TOLEDO, OH 43607
419-245-1835

COLUMBIA GAS COMPANY
TONY BUCKLEY
FIELD ENGINEER TECHNICIAN
2901 E. MANHATTAN BLVD
TOLEDO, OH 43611
419-539-6078

LUCAS COUNTY
SANITARY ENGINEER
1111 S. MCCORD ROAD
HOLLAND, OH 43528
419-213-2926

TOLEDO-LUCAS COUNTY
HEALTH DEPT. ENV. HEALTH
635 N. ERIE STREET ROOM 352
TOLEDO, OH 43604
419-213-4209

A T & T
DESIGN MANAGER
130 N. ERIE, ROOM 714
TOLEDO, OH 43604
419-245-7000

BUCKEYE BROADBAND
MICHAEL SHEAHAN
2700 OREGON ROAD
NORTHWOOD, OH 43619
419-724-3713

CENTURYLINK
375 E. RIVERVIEW AVE
NAPOLEON, OH 43502

OHIO GAS
MIKE CREAGER
13630 AIRPORT HWY.
SWANTON, OH 43566
419-636-1117

REPUBLIC SERVICES OF TOLEDO
6749 DIXIE HIGHWAY
ERIE, MI 48133
734-848-3633

SPECTRUM
3760 INTERCHANGE ROAD
COLUMBUS, OH 43204
614-481-5262

WATERVILLE GAS
TODD BLACK
PO BOX 259
WATERVILLE, OH 43566
419-878-4972

UNITED STATES POST OFFICE
POSTMASTER
435 S. ST. CLAIR STREET .
TOLEDO, OH 43601
419-245-6802

